



NOTICE OF A MEETING
Brenham Community Development Corporation
Thursday, April 19, 2018 @ 7:30 a.m.
City Hall - 2nd Floor Conference Room
200 W. Vulcan St.
Brenham, Texas

1. Call Meeting to Order
2. Invocation and Pledges to the U.S. and Texas Flags

WORK SESSION

3. Presentation and Discussion on Available Land in the Brenham Business Center and Southwest Industrial Park **Page 1**
4. Discussion and Update on a Future Detention Pond in the Brenham Business Center **Pages 2 - 20**

REGULAR SESSION

5. Discuss and Possibly Act Upon the Approval of the Minutes from the November 16, 2017 Regular Meeting **Pages 21 - 28**
6. Discuss and Possibly Act Upon FY17-18 Second Quarter Financial Report **Pages 29 - 35**
7. Discuss and Possibly Act Upon Bid No. 201007-20 Related to the All Sports Building Parking Lot Construction and Authorize the President to Execute Any Necessary Documentation **Pages 36 - 40**
8. Discuss and Possibly Act Upon Reallocation or Increased Funding of FY2017-18 Budgeted Funds for the All Sports Building Parking Lot Construction **Page 41**
9. Discuss and Possibly Act Upon Henderson Park Improvements as Outlined in the Mini-Master Plan Prepared by Strand Associates, Inc. and Authorize the President to Execute Any Necessary Documentation **Pages 42 - 46**
10. Discuss and Possibly Act Upon a Request From Diversified Land Management on Behalf of Seitel Data, Ltd. to Conduct a 3-D Seismic Survey on Approximately 44.07 Acres of Land (Gurrech Tract) in the Southwest Industrial Park, Section IV and Authorize the President to Execute Any Necessary Documentation **Page 47**

11. Discuss and Possibly Act Upon Final Construction Options for the Detention Pond Located in the Southwest Industrial Park, Section III, and Authorize the President to Execute Any Necessary Documentation **Pages 48 - 51**

12. Economic Development Foundation Update
➤ **FY 2017-18 First Quarter Report** **Pages 52 - 58**

13. Staff Updates
➤ **Administrative Update**
○ **Drainage Improvements and Linear Park Pedestrian Streetscapes in Downtown Brenham**
➤ **Parks & Recreation Update**

EXECUTIVE SESSION

**14. Section 551.072 – Texas Government Code – Real Property.
Section 551.087 – Texas Government Code – Economic Development Negotiations.
Deliberation Regarding Possible Land Acquisition and/or Exchange for Economic Development Purposes and the Possible Offer of a Financial or Other Incentive to a Business Prospect Seeking to Expand in the City of Brenham**

Adjourn

CERTIFICATION

I certify that a copy of the agenda of items to be considered by the Brenham Community Development Corporation (BCDC) on Thursday, April 19, 2018 was posted to the City Hall bulletin board at 200 W. Vulcan, Brenham, Texas on Friday, April 13, 2018 at 4:15 p.m.

Jeana Bellinger, TRMC, CMC
City Secretary

Executive Sessions: The Brenham Community Development Corporation (BCDC) reserves the right to convene into executive session at any time during the course of this meeting to discuss any of the matters listed, as authorized by Texas Government Code, Chapter 551, including but not limited to §551.071 – Consultation with Attorney, §551.072 – Real Property, §551.073 – Prospective Gifts, §551.074 - Personnel Matters, §551.076 – Security Devices, §551.086 - Utility Competitive Matters, and §551.087 – Economic Development Negotiations.

Disability Access Statement: This meeting is wheelchair accessible. The accessible entrance is located at the Vulcan Street entrance to the City Administration Building. Accessible parking spaces are located adjoining the entrance. Auxiliary aids and services are available upon request (interpreters for the deaf must be requested twenty-four (24) hours before the meeting) by calling (979) 337-7567 for assistance.

I certify that this notice and agenda of items to be considered by the Brenham Community Development Corporation (BCDC) was removed by me from the City Hall bulletin board on _____ at _____.

Signature



MEMORANDUM

To: BCDC Board

From: Jeana Bellinger, TRMC, CMC
City Secretary

Subject: Available Land in the Brenham Business Center and Southwest Industrial Park

Date: April 16, 2018

As requested by the new City Manager and BCDC President James Fisher, I will be presenting information to the Board on the available land in the Brenham Business Center and the Southwest Industrial Park.

There is approximately 114 acres in the Brenham Business Center and 119 acres in the Southwest Industrial Park. Since Mr. Fisher is new to the area he requested that I prepare this information for him individually and then thought it may be helpful for the Board to get a quick update as well.

If you have any questions, please don't hesitate to contact me at 979-337-7567.



City of Brenham
Engineering Department
200 W. Vulcan St.
Brenham, Texas 77834

Memorandum

Date April 19, 2018
To BCDC Board Members
From Lori Lakatos, PE, CFM
Subject Brenham Business Center Detention Pond Status Update

The BCDC authorized an agreement with O'Malley Strand Associates, Inc. in August 2016 for the design of the Brenham Business Center detention facility, located in the southwest corner of the Brenham Business Center. See attached BBC Detention Ponds.

O'Malley Strand completed the preliminary design and letter report in December 2016 and completed the final design with the project manual in December 2017, see attached.

The Engineer's opinion of probable cost is \$497,266.00 for the pond. There are two additional alternates in the design:

- Precision Polymer Engineering to provide detention for existing development for \$126,428.50.
- Advanced Data Storage to provide detention for existing development for \$79,867.70.

These alternates will be included in the bid, but may not be accepted at time of award. The total with the alternates is \$703,562.20. See attachment Exhibit B – Engineer's Opinion of Probable Costs.

Once the detention pond is budgeted the plans and project manual will be finalized and prepared to bid.

O'Malley Strand will be available to discuss the status update and possible options for the design and construction.

Attachments:

BBC Detention Ponds
BBC Detention Pond Design Plan Set
Engineer's Opinion of Probable Costs



Document Path: C:\Projects\Public\2016-04 - Brenham Business Center Detention Pond\BBC_Detention_Pond_Exhibit_11x17.mxd

**City of
BRENHAM**

0 200 400
Feet

**Brenham Business Center
Detention Pond
(Proposed/Existing)**

BRENHAM COMMUNITY DEVELOPMENT CORPORATION

2017 REGIONAL DETENTION POND

STRAND JOB NO. 3921.010

PROJECT DESCRIPTION:

BASE BID:

CONSTRUCT REGIONAL DETENTION POND FOR AREA NORTH OF
UNNAMED TRIBUTARY TO WOODWARD CREEK.

ALTERNATE BID NO. 1:

CONSTRUCT DRAINAGE IMPROVEMENTS TO CORRECT DETENTION
REQUIREMENTS FOR PRECISION POLYMER ENGINEERING (PPE) DEVELOPMENT.

ALTERNATE BID NO. 2:

CONSTRUCT DRAINAGE IMPROVEMENTS TO CORRECT DETENTION
REQUIREMENTS FOR ADVANCED DATA STORAGE (ADS).

MAYOR:

MILTON TATE

CITY MANAGER:

TERRY K. ROBERTS

CITY COUNCIL:

KEITH HERRING

WELDON C. WILLIAMS, JR.

ANDREW EBEL - MAYOR PRO-TEM

DANNY GOSS

CHARLIE PYLE

SUSAN CANTEY

CITY ENGINEER:

LORI LAKATOS, PE, CFM



**STRAND
ASSOCIATES***

**O'MALLEY STRAND ASSOCIATES
BRENHAM, TEXAS**

BCDC BOARD MEMBERS:

ATWOOD KENJURA

DARRELL BLUM

DAVID CONE

CHARLES MOSER

JASON KIEMSTEADT

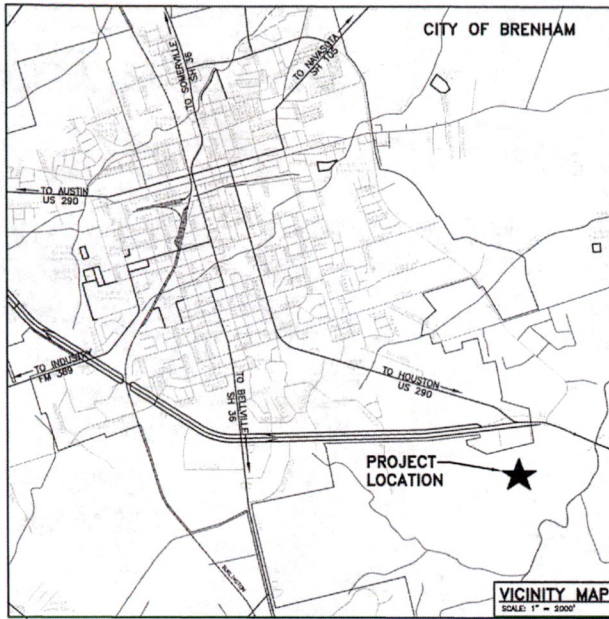
BILL BETTS

JOHN HASSKARL

This document is released for the purpose of review under the authority of Jason Scott Heiner, P.E., 118651 on December 22, 2017. It is not to be used for construction, bidding, or permit purposes.

O'MALLEY STRAND ASSOCIATES
TYPE NO. F-8405 TRPLS NO. 10030000
203 S. JACKSON BRENHAM, TX 77833
PHONE: 879-636-7937

**BRENHAM COMMUNITY
DEVELOPMENT CORPORATION**
2017 REGIONAL DETENTION POND
STRAND JOB NO. 3921.010



GENERAL NOTES:

1. IN ADDITION TO THE OTHER NOTIFICATIONS REQUIRED BY THE SPECIFICATIONS AND CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE CITY OF BRENHAM, AT (979)333-7407, AND O'MALLEY STRAND ASSOCIATES, INC., AT (979)836-7937, WHEN THE FOLLOWING PHASES OF CONSTRUCTION ARE ABOUT TO BEGIN:
 - (a) 48 HOURS BEFORE ACTUAL WORK BEGINS, AND
 - (b) 24 HOURS BEFORE ANY REQUIRED TESTING.
2. CONTRACTOR SHALL PROVIDE A PRELIMINARY SCHEDULE 4 DAYS PRIOR TO BEGINNING WORK FOR REVIEW BY THE CITY AND ENGINEER TO COORDINATE PARK USAGE. WITH EACH MONTHLY PAY REQUEST, THE CONTRACTOR SHALL PROVIDE AN UPDATED SCHEDULE. CONTRACTOR SHALL PROVIDE ACCESS TO THE ATHLETIC FIELDS AFTER 4 PM MONDAY THRU FRIDAY AND ALL DAY ON WEEKENDS.
3. CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITY LINES LOCATED AT LEAST 48 HOURS BEFORE DIGGING.
4. ANY PROPERTY BOUNDARY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED TO THE ORIGINAL CONDITION BY A REGISTERED PROFESSIONAL SURVEYOR AT CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL REPAIR ALL ADJACENT PROPERTY DISTURBED BY CONSTRUCTION TO A CONDITION EQUAL TO OR BETTER THAN ORIGINAL CONDITION.
6. ANY AREAS DISTURBED BY CONSTRUCTION OUTSIDE OF THE TRAIL SHALL BE GRADED, SHAPED, FERTILIZED, AND SEEDED PER SECTION 302.13.13 OF THE TECHNICAL SPECIFICATIONS. CONTRACTOR SHALL PROTECT NEW IMPROVEMENTS FROM OVERSPRAY OF HYDROMULCH SEEDING. ANY DAMAGED IMPROVEMENTS SHALL BE REPLACED AT THE DISCRETION OF THE CITY AND ENGINEER AT THE CONTRACTOR'S EXPENSE.
7. NON-PAVED AREAS DISTURBED BY CONSTRUCTION SHALL HAVE A MINIMUM OF 4" OF TOPSOIL WHEN COMPLETE TO ESTABLISH VEGETATION.
8. CONTRACTOR SHALL REMOVE AND STOCKPILE A MINIMUM OF 4" OF TOPSOIL BEFORE GRADING TO THE DESIGN ELEVATIONS. THE FINAL 4 INCHES OF THE GRADING IN AREAS TO REMAIN WITH VEGETATIVE COVER SHALL CONSIST OF TOPSOIL AND BE ROLLED TO A SMOOTH FINISH AND SEEDED.
9. EROSION CONTROL MEASURES SHALL CONFORM TO ALL STATE AND FEDERAL REQUIREMENTS, AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION OF THE PROJECT AND UNTIL 70% VEGETATION IS ESTABLISHED.
10. THE CONTRACTOR SHALL PERFORM ALL CLEARING AND GRUBBING OPERATIONS REQUIRED TO INSTALL THE IMPROVEMENTS COVERED UNDER THIS PROJECT. NO SEPARATE PAYMENT WILL BE MADE FOR CLEARING, GRUBBING AND DISPOSAL OF BRUSH, TREES, ETC. NO SEPARATE PAYMENT WILL BE MADE FOR VEGETATION REMOVAL. CONTRACTOR SHALL VERIFY WITH THE ENGINEER PRIOR TO THE REMOVAL OF ANY TREES.
11. BURNING OF BRUSH IS NOT ALLOWED ON THIS SITE.
12. THE CONTRACTOR SHALL BE AWARE THAT OVERHEAD POWER AND TELEPHONE LINES EXIST WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL INSURE THAT ALL EQUIPMENT MAINTAINS A MINIMUM SAFE CLEARANCE FROM ALL ENERGIZED POWER LINES.
13. THE CONTRACTOR SHALL PROTECT EXISTING FIELDS, BOTH PUBLIC AND PRIVATE, DRIVES, CURBS, MAIL BOXES, SIGNS, CULVERTS, ETC. FROM DAMAGE DURING CONSTRUCTION. DAMAGES DONE TO THESE ITEMS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
14. THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS MATERIALS FROM THE PROJECT IN A MANNER ACCEPTABLE TO THE CITY, ENGINEER, AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
15. THE CITY WOULD LIKE ANY EXISTING DECOMPOSED GRANITE SALVAGED FROM THE SITE TO BE STOCKPILED ONSITE FOR THEIR USE IN A LOCATION TO BE DETERMINED BY THE CITY PRIOR TO THE START OF CONSTRUCTION.
16. UNLESS STIPULATED OTHERWISE, THE CITY WILL PAY FOR THE COSTS OF ALL TESTS REQUIRED BY THE PLANS AND SPECIFICATIONS FOR THIS PROJECT. THE CONTRACTOR SHALL GIVE THE ENGINEER 48 HOURS ADVANCE NOTICE TO ALLOW FOR THE SCHEDULING OF SUCH TESTS IN A TIMELY MANNER. IN THE EVENT ANY REQUIRED TEST FAILS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING FOR SUCH RETESTING AS NECESSARY TO SECURE A PASSING TEST RESULT.
17. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING THE EXACT LOCATION OF EXISTING UTILITIES.
18. WHERE CONCRETE REMOVAL IS REQUIRED, CONCRETE SHALL BE SAWCUT TO A MINIMUM DEPTH OF 1". NO SEPARATE PAYMENT WILL BE MADE FOR SAWCUTTING. ITS COST SHALL BE INCLUDED IN APPLICABLE ITEMS.
19. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO KEEP ALL STREETS, ROADS ALLEYS, RIGHTS-OF-WAY, AND/OR EASEMENTS OPEN TO THE PUBLIC AND MAINTAIN ACCESS TO ALL ADJOINING PROPERTIES DURING CONSTRUCTION. IF IT BECOMES NECESSARY TO INTERRUPT ACCESS TO PRIVATE PROPERTY, THE CONTRACTOR SHALL GIVE THE AFFECTED PARTIES 48 HOURS ADVANCE NOTICE OF THE DATE AND DURATION OF THE INTERRUPTION OF ACCESS. IF IT BECOMES NECESSARY TO CLOSE A STREET, ROAD, ALLEY OR OTHER PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL GIVE ADEQUATE ADVANCE NOTICE TO THE AGENCIES; THE FIRE DEPARTMENT; THE EMS; THE SCHOOL DISTRICT'S TRANSPORTATION DEPARTMENT; AFFECTED AMBULANCE SERVICES; AND ALL AFFECTED UTILITIES.
20. ALL UNDERGROUND UTILITY LINES SHOWN ON THE PLANS ARE SHOWN FOR THE PURPOSE OF MAKING THE CONTRACTOR AWARE THAT THEY EXIST. NEITHER THE CITY, NOR O'MALLEY STRAND ASSOCIATES, INC. GUARANTEES THE ACCURACY THEREOF. ALL EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ADDITIONALLY, THE CONTRACTOR MAY BE LIABLE FOR ADDITIONAL DAMAGES SUCH AS LOST GAS, WATER, ETC. OR LOST REVENUE FOR CABLE DAMAGE.
21. CONTRACTOR SHALL GRADE THE SITE TO THE PROPOSED ELEVATIONS SHOWN ON THE PLAN AND PROFILE SHEETS & CROSS SECTIONS.
22. THE CONTRACTOR SHALL INSURE THAT CONSTRUCTION ACTIVITIES DO NOT CHANGE, DIVERT, RESTRICT, IMPEDE OR INHIBIT EXISTING SURFACE DRAINAGE IN ANY WAY.

23. ALL FINISHED GRADES ALONG THE EDGE OF BUILDINGS ARE TO BE 6" BELOW FINISHED FLOOR ELEVATION UNLESS NOTED OTHERWISE.
24. THE ENGINEER WILL PROVIDE CONSTRUCTION STAKEOUT SERVICES FOR THE CONTRACTOR TO IDENTIFY THE ROUTE ALIGNMENT WITH OFFSETS.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING SUFFICIENT WATER FOR CONSTRUCTION. THE CONTRACTOR MAY PURCHASE WATER FROM THE CITY'S RECLAIMED WATER FACILITY AT THE WASTEWATER TREATMENT PLANT (2005 OLD CHAPPELL HILL RD., BRENHAM, TX) FOR A FEE.
26. THE CONTRACTOR SHALL REMOVE DEBRIS AND CLEAN EXISTING DRAINAGE STRUCTURES ALONG THE PROPOSED TRAIL ALIGNMENT AS SHOWN ON THE PLANS INCLUDING BUT NOT LIMITED TO: REMOVE AND DISPOSE OF TREE BRANCHES; REMOVE AND DISPOSE OF SEDIMENTATION FROM CULVERTS AND INLETS; COLLECT AND DISPOSE OF SEDIMENTATION FROM THE INLETS AND PIPES THAT OUTFALL INTO THE CREEKS; AND REMOVE AND DISPOSE OF ANY OTHER TRASH/DEBRIS. THIS WORK SHALL BE PAID FOR UNDER RELATED ITEMS OF WORK INCLUDED ON THE BID FORM.

This document is released for the purpose of review under the authority of Jason Scott Brewer, P.E. 118851 on December 22, 2017. It is not to be used for construction, bidding, or permit purposes.

O'Malley Strand Associates, Inc.
 203 S. Jackson
 Brenham, TX 77833
 (979) 836-7937
 TBP# No. E-8405
 TBP#S No. 0030000



BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

EXISTING FEATURES LEGEND			
SYMBOLS:	DESCRIPTION:	SYMBOLS:	DESCRIPTION:
— x — x — x — x —	BARBED WIRE FENCE	⊙	CONCRETE MONUMENT
— o — o — o — o —	BOARD FENCE	◇	FIRE HYDRANT
— o — o — o — o —	CHAIN LINK FENCE	■	GAS METER
—	DITCH	○	GAS RISER
— + — + — + — + —	RAILROAD CROSSING	⊕	GAS VALVE
— T — T — T — T —	TELEPHONE LINE	— <	GUY WIRE
— OE — OE — OE — OE —	OVERHEAD ELECTRICAL LINE	○	IRON PIPE OR ROD
— UE — UE — UE — UE —	UNDERGROUND ELECTRICAL LINE	□	MAILBOX
— G — G — G — G —	GAS LINE	○	SEWER MANHOLE
— S — S — S — S —	SEWER LINE	☆	METER POLE OR LIGHT
— W — W — W — W —	WATER LINE	⊙	UTILITY POLE
— / — / — / — / —	TOP/TOE OF SLOPE	⊕	SHRUB/BUSH/HEDGES
— FO — FO — FO — FO —	FIBER OPTIC LINE	⊕	STORM SEWER MANHOLE
— [] — [] — [] — [] —	BRUSH	—	STREET SIGN
— [] — [] — [] — [] —	WATER METER	—	TELEPHONE PEDESTAL
— [] — [] — [] — [] —	WATER VALVE	○	TELEPHONE RISER
— [] — [] — [] — [] —	SPRINKLER HEAD	⊙	TELEPHONE MANHOLE
— [] — [] — [] — [] —	IRRIGATION VALVE	—	ASPHALT PAVEMENT
— [] — [] — [] — [] —	SURVEY CONTROL	—	CONCRETE PAVEMENT
— [] — [] — [] — [] —	TBM BENCHMARK	—	GRAVEL PAVEMENT
— [] — [] — [] — [] —	CLEANOUT	⊙	TREE (CANOPY NOT MEASURED UNLESS SHOWN OTHERWISE)

SHEET INDEX	
SHEET NO.	SHEET TITLE
1	TITLE SHEET
2	GENERAL NOTES, VICINITY MAP, LEGEND & SHEET INDEX
3	TOPOGRAPHIC SURVEY
4	EROSION CONTROL PLAN
5	GRADING PLAN I BASE BID
6	GRADING PLAN II BASE BID
7	GRADING PLAN III ALTERNATE BID
8	STORM SEWER I PLAN & PROFILE
9	STORM SEWER II PLAN & PROFILE
10	STORM SEWER III PLAN & PROFILE
11	STORM SEWER IV PLAN & PROFILE
12	PRE-DEVELOPMENT DRAINAGE AREA MAP
13	POST-DEVELOPMENT DRAINAGE AREA MAP
14	DRAINAGE CALCULATIONS
15	DRAINAGE DETAILS
16	TYPED DRAINAGE DETAIL CONCRETE HEADWALLS CH-FW-0

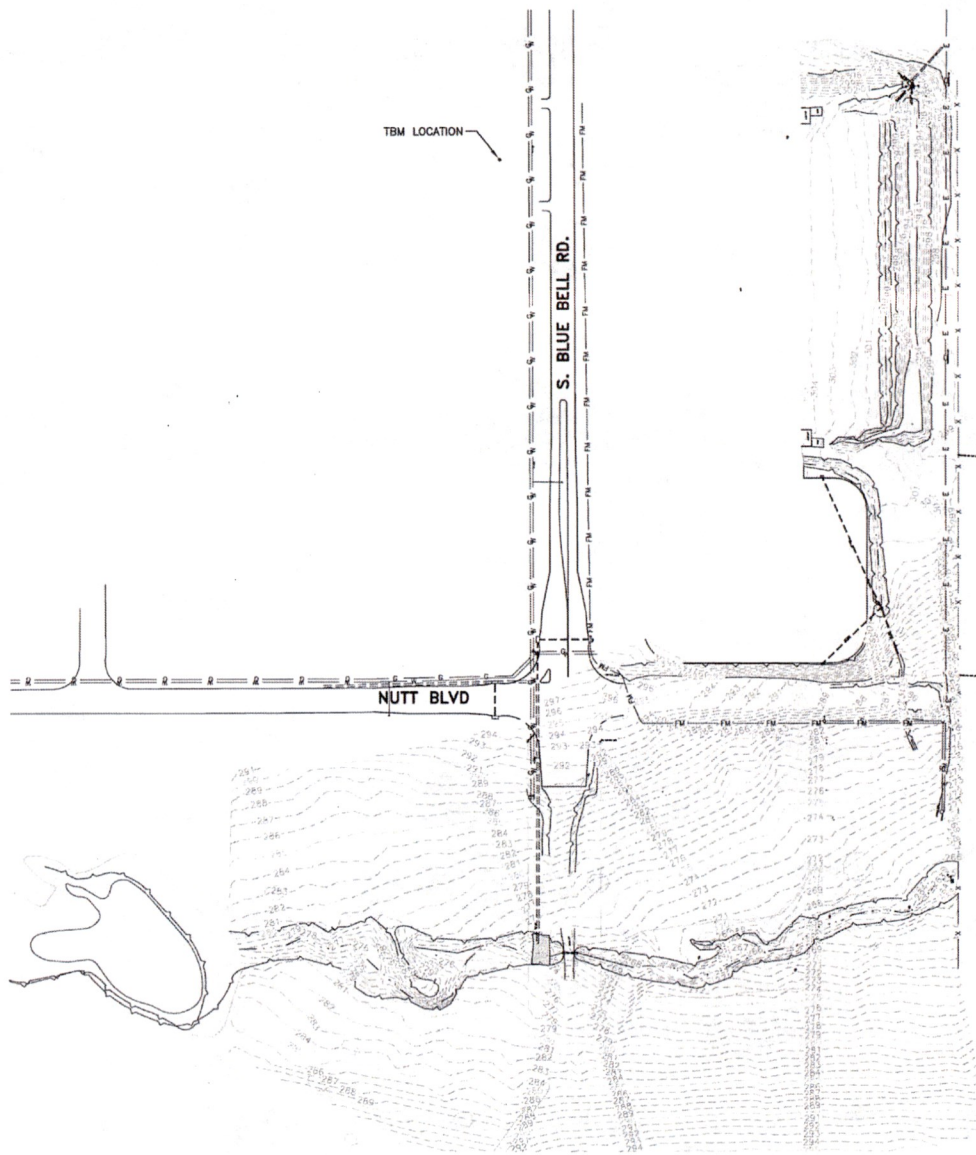
THE STANDARD SHEET SPECIFICALLY IDENTIFIED WITH AN ASTERISK (*) HAS BEEN SELECTED BY ME OR UNDER MY RESPONSIBLE SUPERVISION AS BEING APPLICABLE TO THIS PROJECT.

DATE:	
BY:	
NO.:	
REV.:	
DATE:	
BY:	
NO.:	
REV.:	
DATE:	
BY:	
NO.:	
REV.:	

Drawing Name: _____
 Project Number: _____
 Design By: _____
 Review By: _____
 Scale: _____
 Date: _____
 Sheet No. of _____ Total Sheets: _____
 This Sheet: _____ of _____ Total Sheets.

Title: BRENHAM COMMUNITY DEVELOPMENT CORP. 2017 REGIONAL DETENTION POND
 Project Number: _____
 Design By: _____
 Review By: _____
 Scale: _____
 Date: _____
 Sheet No. of _____ Total Sheets: _____
 This Sheet: _____ of _____ Total Sheets.

EXISTING FEATURES LEGEND	
SYMBOLS:	DESCRIPTION:
— x — x — x — x —	BARBED WIRE FENCE
— o — o — o — o —	BOARD FENCE
— d — d — d — d —	CHAIN LINK FENCE
— e — e — e — e —	DITCH
— r — r — r — r —	RAILROAD CROSSING
— t — t — t — t —	TELEPHONE LINE
— oe — oe — oe — oe —	OVERHEAD ELECTRICAL LINE
— ue — ue — ue — ue —	UNDERGROUND ELECTRICAL LINE
— g — g — g — g —	GAS LINE
— s — s — s — s —	SEWER LINE
— w — w — w — w —	WATER LINE
— / — / — / — / —	TOP/TOE OF SLOPE
— fo — fo — fo — fo —	FIBER OPTIC LINE
—	BRUSH
⊂	CLEANOUT
⊙	CONCRETE MONUMENT
⊕	FIRE HYDRANT
■	GAS METER
⊙	GAS RISER
⊕	GAS VALVE
—	GUY WIRE
⊙	IRON PIPE OR ROD
⊙	MAILBOX
⊙	SEWER MANHOLE
⊕	METER POLE OR LIGHT
⊕	UTILITY POLE
⊕	SHRUB/BUSH/HEDGES
⊕	STORM SEWER MANHOLE
⊕	STREET SIGN
⊕	TELEPHONE PEDESTAL
⊕	TELEPHONE MANHOLE
⊕	TREE (CANOPY NOT MEASURED UNLESS SHOWN OTHERWISE)
⊕	WATER METER
⊕	WATER VALVE
⊕	SPRINKLER HEAD
⊕	IRRIGATION VALVE
⊕	SURVEY CONTROL
⊕	TBM BENCHMARK
⊕	ASPHALT PAVEMENT
⊕	CONCRETE PAVEMENT
⊕	GRAVEL PAVEMENT



TBM ELEV.=314.35
 LOCATION: 1/2" IRON ROD APPROX.
 83' NW OF BLUEBELL RD.
 AND APPROX. 69.5' NE OF
 SW ENTRANCE TO MIC GROUP.

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O'Malley Strand
 Associates, Inc.
 203 S. Jackson
 Brenham, Texas 77833
 (979) 836-9397
 TBPALS No. 10000000



BRENHAM COMMUNITY
 DEVELOPMENT CORP.
 2017 REGIONAL DETENTION POND

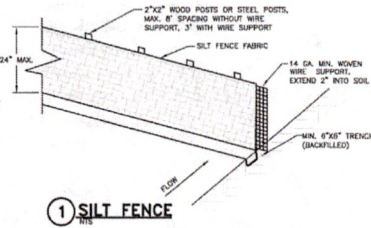
NO.	REVISION	BY	DATE

Drawing Name: 2017 Regional Detention Pond
 Drawing Number: 2017-010
 Drawing Date: 05/17/17
 Drawing By: JCS
 Drawing For: BRENHAM COMMUNITY DEVELOPMENT CORP.
 Project No.: 10000000
 Scale: AS SHOWN
 Date: 05/17/17

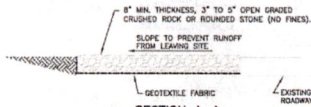
Sheet Title:
 TOPOGRAPHIC
 SURVEY

Sheet Number:
 3 ...of... 16

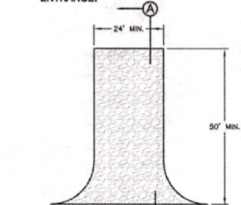
NOTES:
 1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
 2. THE SIZE OF THE SILT FENCE SHALL BE DETERMINED BY THE TYPE OF SOIL OR MECHANICAL TRENCHER, SO THAT THE DOWN-SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
 3. THE TRENCH SHOULD BE A MIN. OF 6" DEEP AND 6" WIDE TO ALLOW FOR THE SILT FENCE TO BE LAD IN THE GROUND AND BACKFILLED.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOOD WIRE WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.



1 SILT FENCE



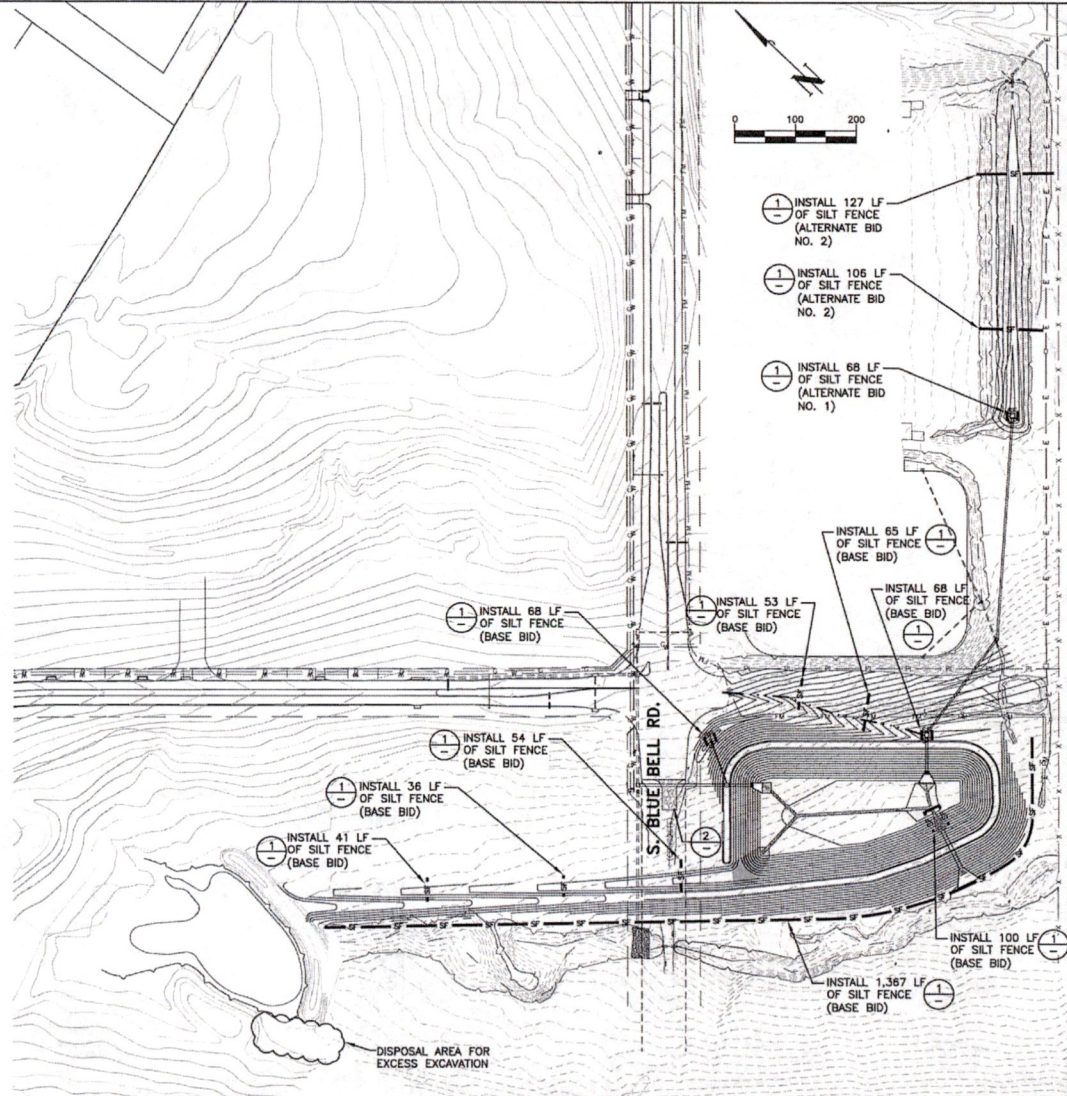
NOTE:
 CONTRACTOR TO BE ALLOWED TO SELECT LOCATION OF STABILIZED CONSTRUCTION ENTRANCE.



2 STABILIZED CONSTRUCTION ENTRANCE

SITE EROSION CONTROL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STORM WATER POLLUTION PREVENTION AND PLANNING IN ACCORDANCE WITH PROJECT TECHNICAL SPECIFICATION. PRIOR TO BEGINNING WORK, CONTRACTOR SHALL INSTALL SILT FENCING, EROSION CONTROL SOCKS AND CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET. THE SILT FENCING SHALL BE ERECTED IN ADDITION TO ANY STRUCTURAL CONTROLS THAT MAY BE STIPULATED IN A STORM WATER POLLUTION PREVENTION PLAN (SW3P) THAT IS PREPARED BY CONTRACTOR AS OPERATOR OF THE SITE. THE SILT FENCING SHALL BE MAINTAINED BY CONTRACTOR THROUGHOUT THE DURATION OF CONSTRUCTION AND THEN REMOVED BY CONTRACTOR AFTER FINAL STABILIZATION OF THE SITE.
- SEDIMENT SHALL BE RETAINED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE.
- IF DAMAGED OR RENDERED INEFFECTIVE, THE EROSION AND SEDIMENT CONTROLS WILL BE REPAIRED OR REPLACED IMMEDIATELY.
- AFTER PAVING COMPLETION, NEWLY GRADED AREAS AND ALL EXPOSED SOILS WILL BE COMPLETELY STABILIZED.
- CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, UNLESS THEY ARE USING A PROPERLY DESIGNED AND DESIGNATED CONCRETE WASHOUT AREA.
- EROSION AND SEDIMENT CONTROL MEASURES THAT HAVE BEEN IMPROPERLY INSTALLED OR HAVE BEEN DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY.
- MAINTENANCE AND REPAIRS SHALL BE CONDUCTED WITHIN 24 HOURS OF THE RAINFALL EVENT CAUSING DAMAGE.
- CONTRACTOR SHALL CONTINUE WATERING SEEDED AREAS TO ESTABLISH VEGETATIVE GROWTH UNTIL 70% PERMANENT VEGETATIVE COVERAGE IS ACHIEVED.



ACRES OF DISTURBED AREA	
5.220 AC DISTURBED AREA (BASE BID)	
0.196 AC DISTURBED AREA (ALTERNATE BID NO. 1)	
0.793 AC DISTURBED AREA (ALTERNATE BID NO. 2)	

DETAIL BUBBLE LEGEND	
(X)	- DETAIL NUMBER
(X)	- SHEET NUMBER

LEGEND	
---	- SILT FENCE

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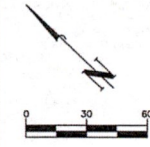
O'Malley Strand Associates, Inc.
 200 S. Jackson
 Brown (979) 836-7937
 TBPE No. 12-8465
 TBPL3 No. 10030000



BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

NO.	REVISION	DATE

Title Block:
 Title: EROSION CONTROL PLAN
 Sheet No: 4 of 16
 Project No: 1821.018
 Design By: [Name]
 Drawn By: [Name]
 Scale: AS SHOWN
 Date: 12/22/17



MATCHLINE "A"
SEE SHEET 5

TBM ELEV.=314.35
LOCATION: 1/2" IRON ROD APPROX.
83' NW OF BLUEBELL RD.
AND APPROX. 69.5' NE OF
SW ENTRANCE TO MIC GROUP.

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O'Malley Strand Associates, Inc.
303 S. Jackson,
Brenham, Texas 77833
(979) 836-7977
TBP# No. 18-0405
TBP#S No. 10030000



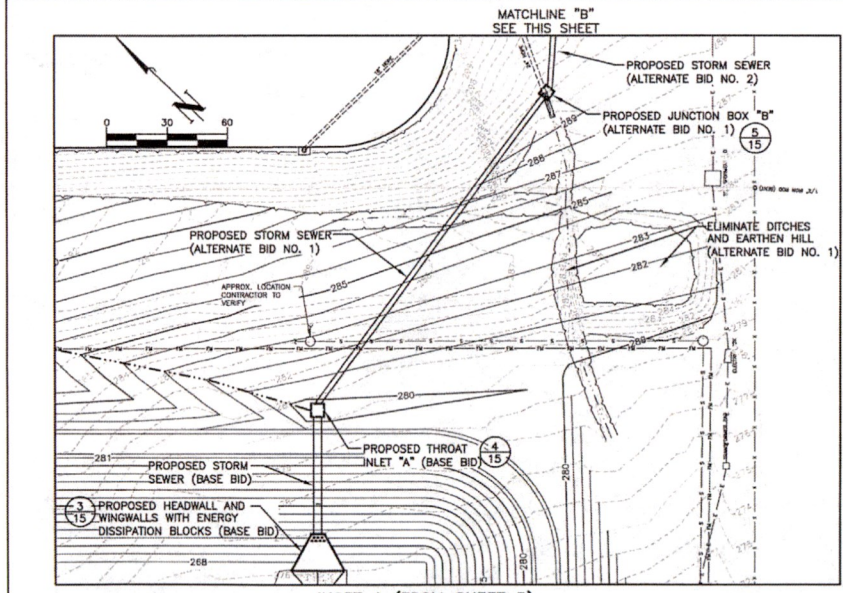
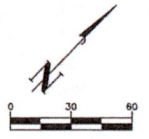
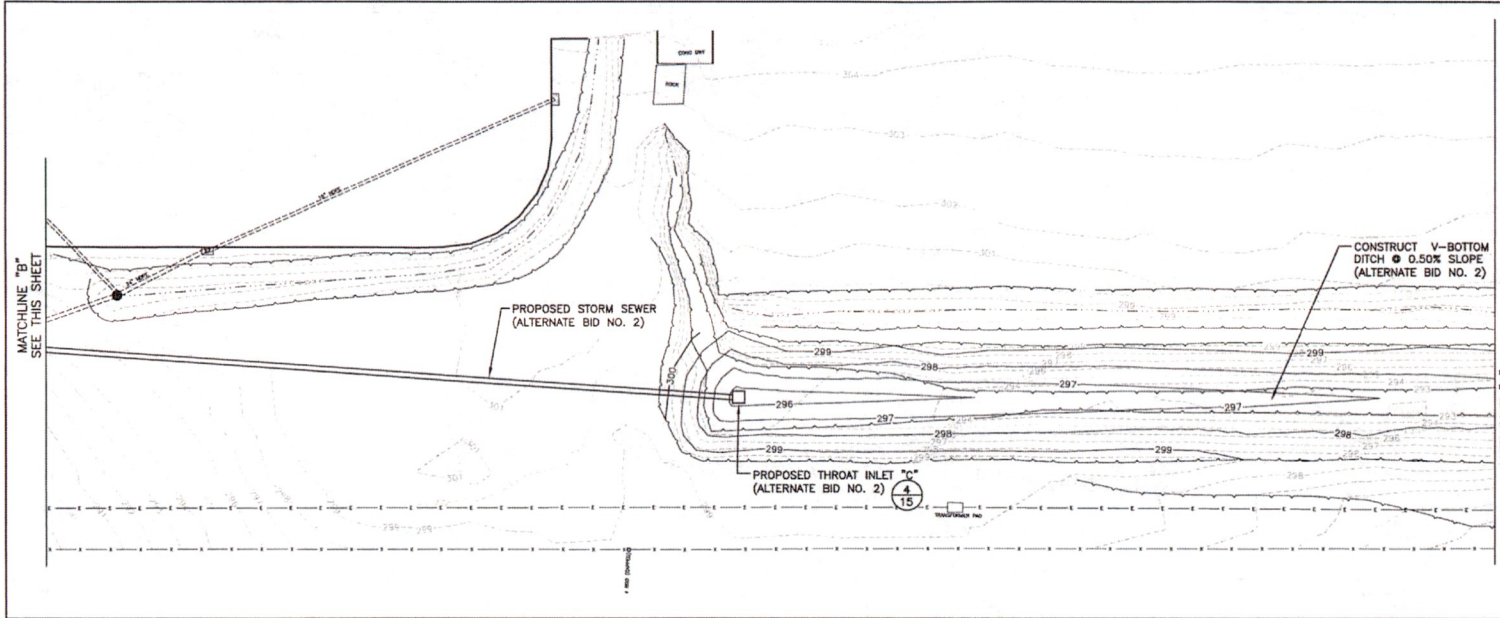
BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

NO.	REVISION	BY	DATE

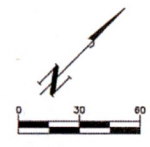
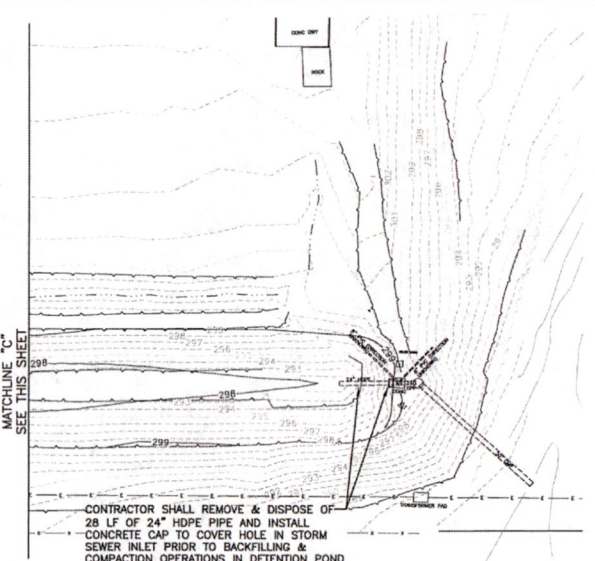
Drawing Name:
 Drawing No.:
 Scale:
 Date:
 By:
 Check:
 Title:
 Project Number:
 Date:
 Location:
 Sheet No.:
 Total Sheets:
 This sheet, adjust scale.

Sheet Title:
GRADING PLAN II
BASE BID

Sheet Number:
6 of **16**



INSET A (FROM SHEET 5)



DETAIL BUBBLE LEGEND

	- DETAIL NUMBER
	- SHEET NUMBER

NOTE:
SEE PLAN & PROFILE SHEETS FOR STORM SEWER IMPROVEMENTS

TBM ELEV.=314.35
LOCATION: 1/2" IRON ROD APPROX.
83' NW OF BLUEBELL RD,
AND APPROX. 69.5' NE OF
SW ENTRANCE TO MIC GROUP.

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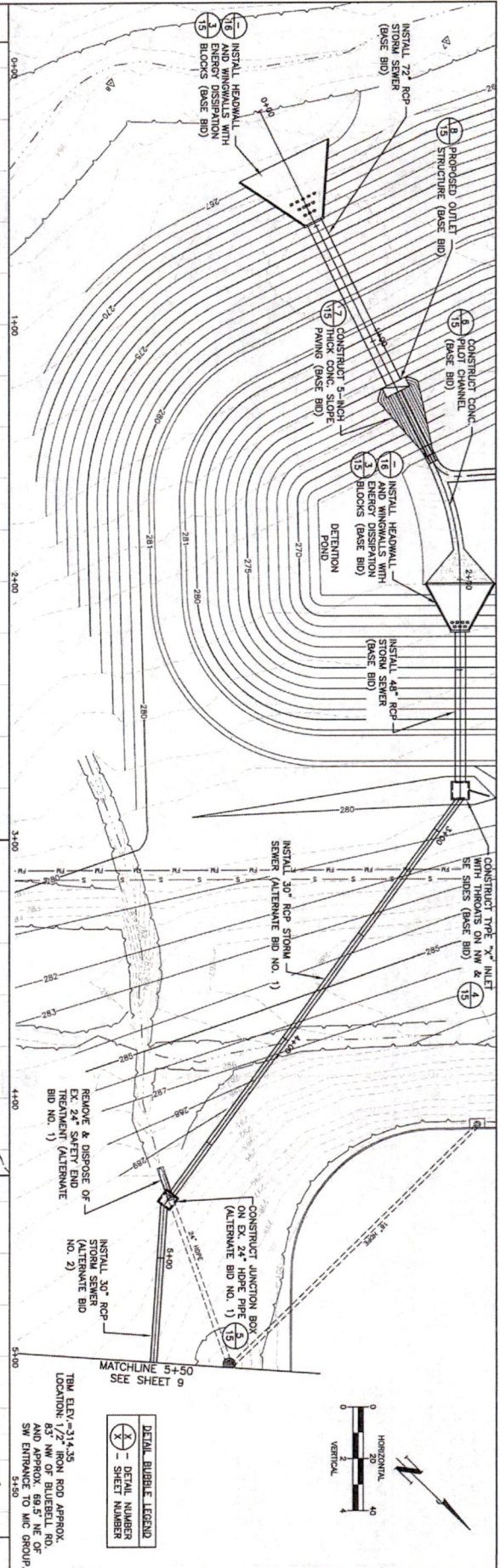
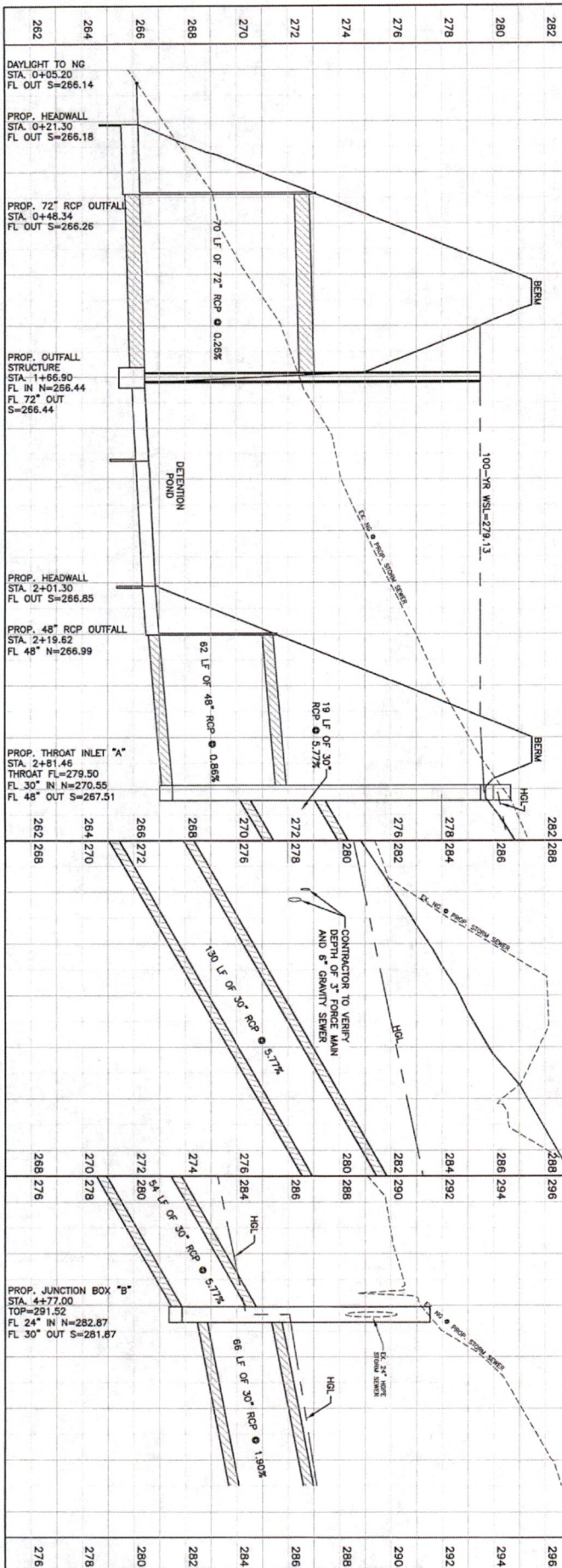
O'Malley Strand Associates, Inc.
200 S. Jackson
Birmingham, Texas 77603
Professional Engineer
TBPES No. F34605
TBPES No. 00300000



BRENNHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

NO.	DATE	BY	REVISION

Sheet Title: GRADING PLAN III ALTERNATE BID
Sheet Number: 7...of...16



NO.	REVISION	BY	DATE

Field Book: NA
 Station: NA
 Date: NA
 Project Number: 2017-010
 Design By: JAC
 Drawn By: JAC
 Check By: JAC

Drawing Name: 2017-010-Storm-11 Storm Sewer
 VERIFY SCALE. BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALE.

Sheet Title: STORM SEWER 1
 Plan & Profile
 Sheet Number: 8 of 16

BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

TBM ELEV.=214.35
 LOCATION: 1/2" FROM RGD APPROX.
 AND APPROX. 68.5' NE OF
 SW ENTRANCE TO MIC GROUP.
 5+50

MATCHLINE 5+50
 SEE SHEET 9

REMOVE & DISPOSE OF
 THE EX. 24" INLET END
 OF THE EX. (ALTERNATE
 BID NO. 1)

INSTALL 30" RCP
 STORM SEWER
 (ALTERNATE BID
 NO. 2)

CONSTRUCT JUNCTION BOX
 ON EX. 24" HDPE PIPE (EX. 1)
 (ALTERNATE BID NO. 1)

CONSTRUCT TYPE "X" INLET
 WITH THROATS ON NW &
 SE SIDES (BASE BID)

INSTALL 48" RCP
 STORM SEWER
 (BASE BID)

INSTALL HEADWALL
 AND WINGWALLS WITH
 ENERGY DISSIPATION
 BLOCKS (BASE BID)

CONSTRUCT 5'-10"
 THICK CONC. SLOPE
 FANNS (BASE BID)

CONSTRUCT CONC.
 PILOT CHANNEL
 (BASE BID)

PROPOSED OUTLET
 STRUCTURE (BASE BID)

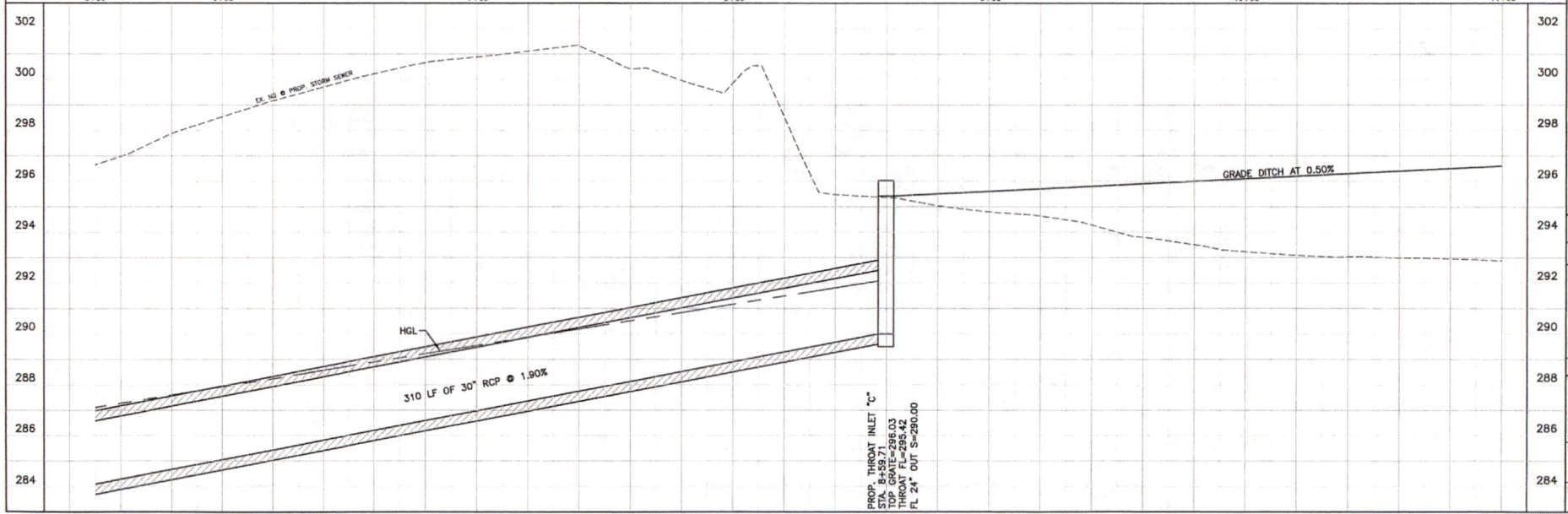
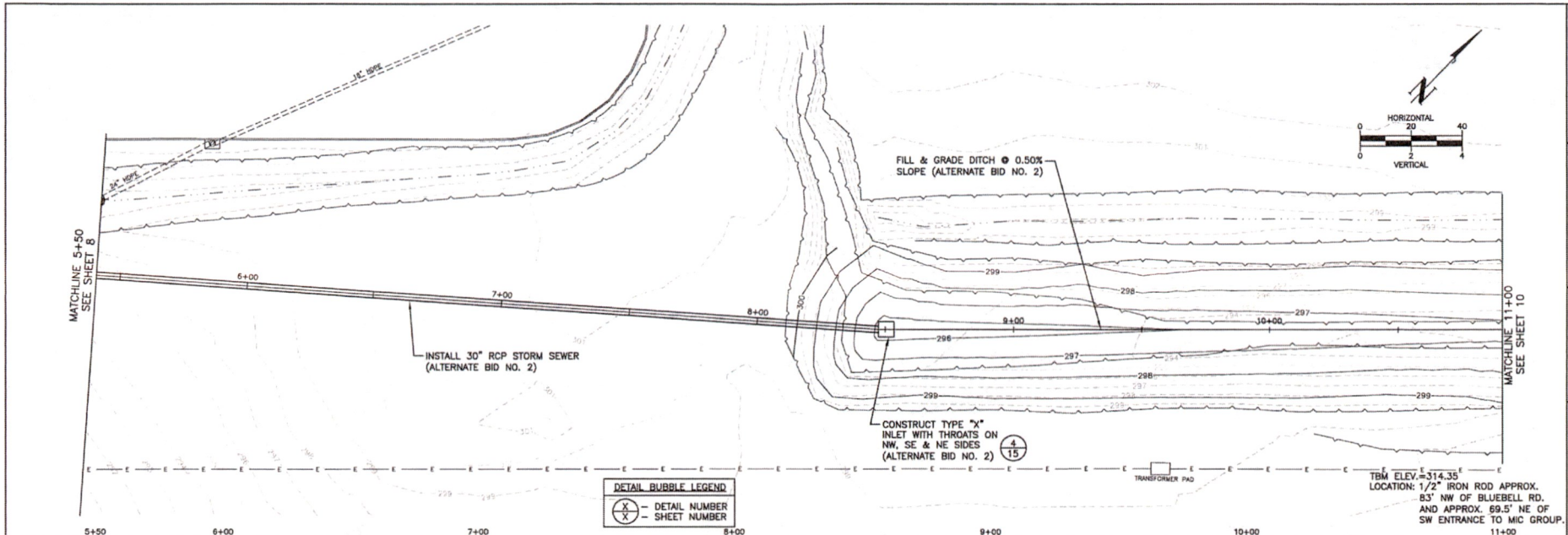
INSTALL 72" RCP
 STORM SEWER
 (BASE BID)

INSTALL HEADWALL WITH
 ENERGY DISSIPATION
 BLOCKS (BASE BID)

DETAIL BUBBLE LEGEND:
 (A) - DETAIL NUMBER
 (B) - SHEET NUMBER

O'Malley Strand Associates, Inc.
 203 S. Jackson
 Brenham, Texas 77833
 (979) 836-7937
 TBPE No. F-8405
 TBPLs No. 10030000

This document is prepared for the project of **Regional Detention Pond** located at **1/2" from RGD** and **approx. 68.5' NE of SW entrance to mic group**. It is to be used for construction purposes only. No other use or reproduction is permitted without the written consent of O'Malley Strand Associates, Inc.



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O'Malley Strand Associates, Inc.
203 S. Jackson
Brenham, Texas 77833
(799) 356-9597
Fax: (799) 356-9596
TABLE NO. 0000000



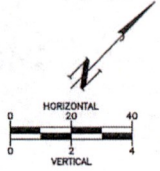
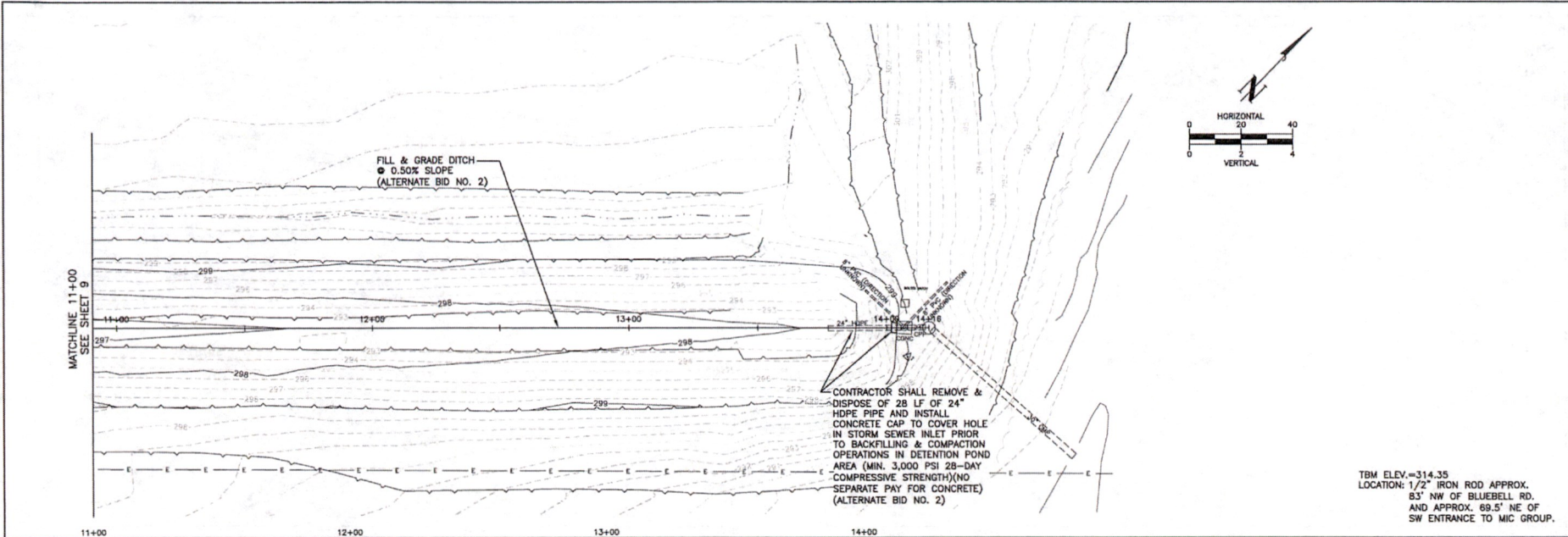
BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

NO.	REVISION	BY	DATE

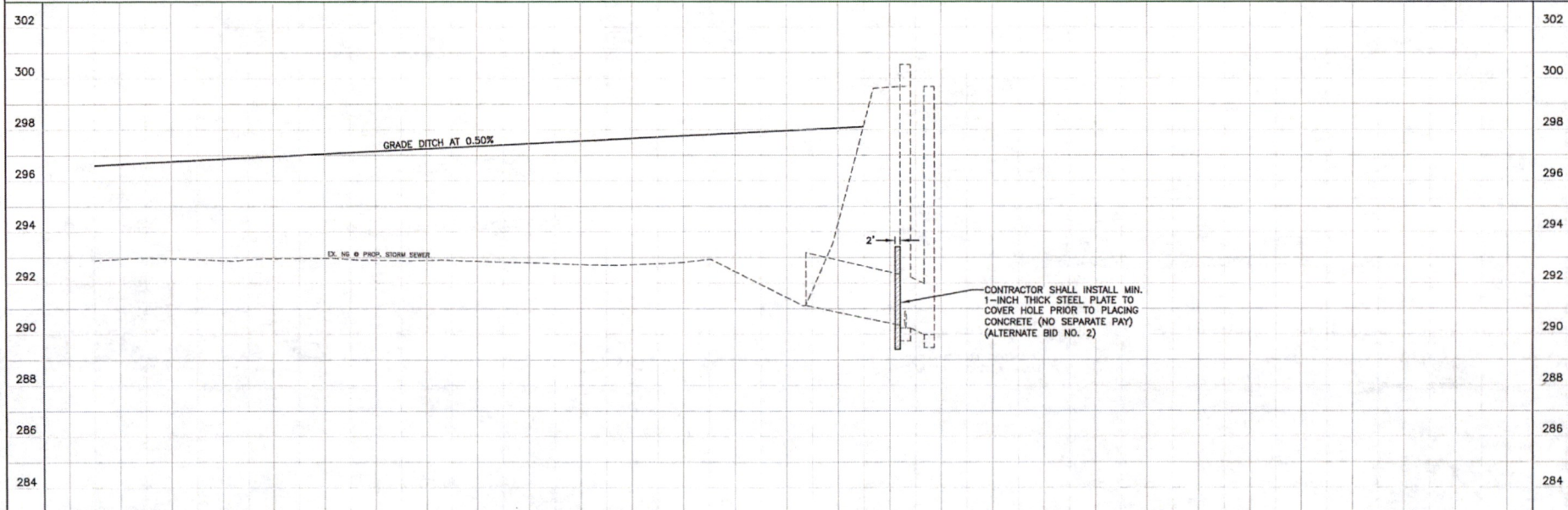
Drawn By: []
 Checked By: []
 Design By: []
 Storm By: []
 Scale: []
 Date: []

Sheet Title:
STORM SEWER II PLAN & PROFILE

Sheet Number:
9 of 16



TBM ELEV. = 314.35
 LOCATION: 1/2" IRON ROD APPROX.
 B3' NW OF BLUEBELL RD.
 AND APPROX. 69.5' NE OF
 SW ENTRANCE TO MIC GROUP.



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O'Malley Strand Associates, Inc.
 2015 Lakeside
 Brenham, Texas 77833
 (979) 836-7937
 TBP# No. F-8405
 TBP# No. 1000000



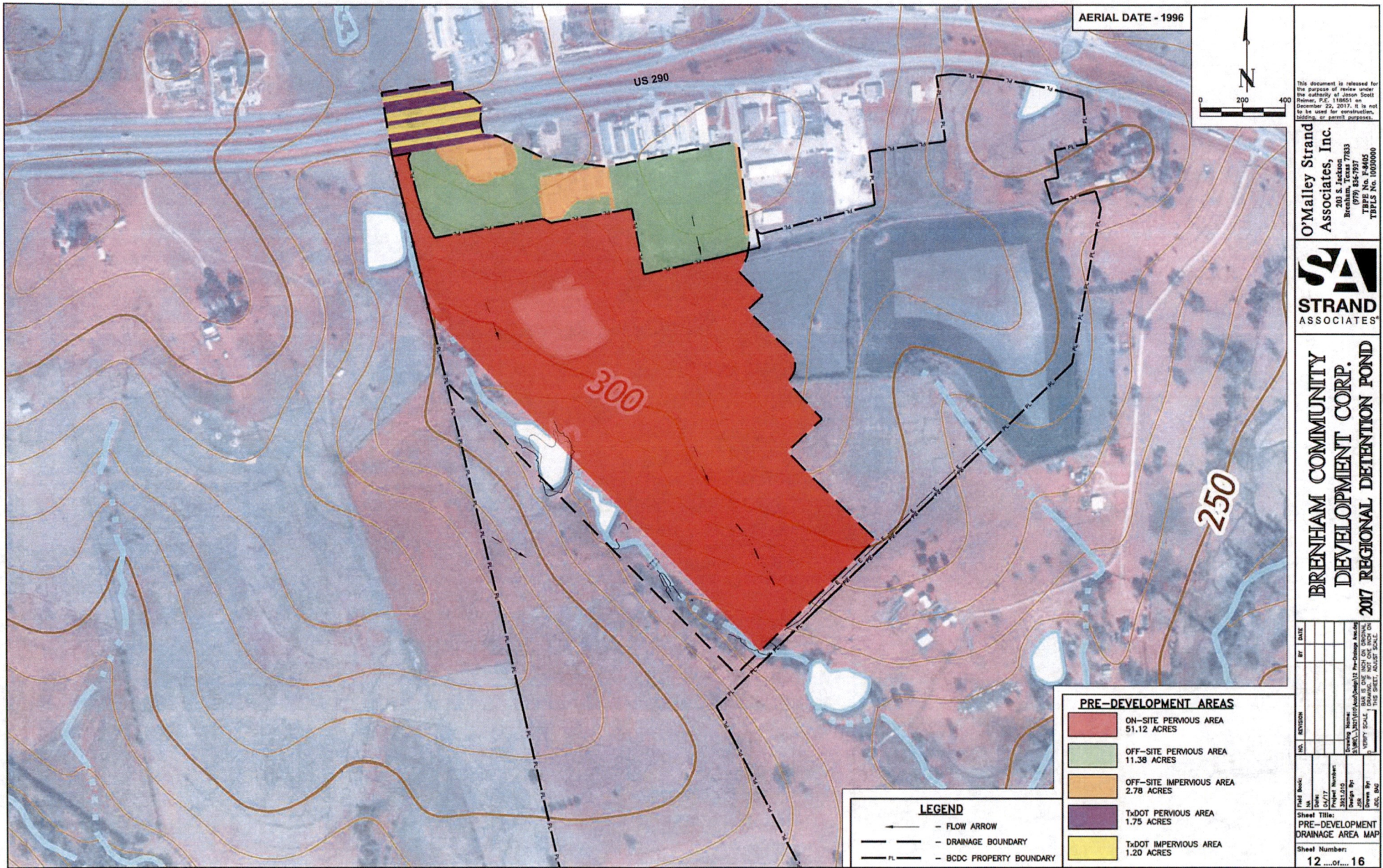
BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

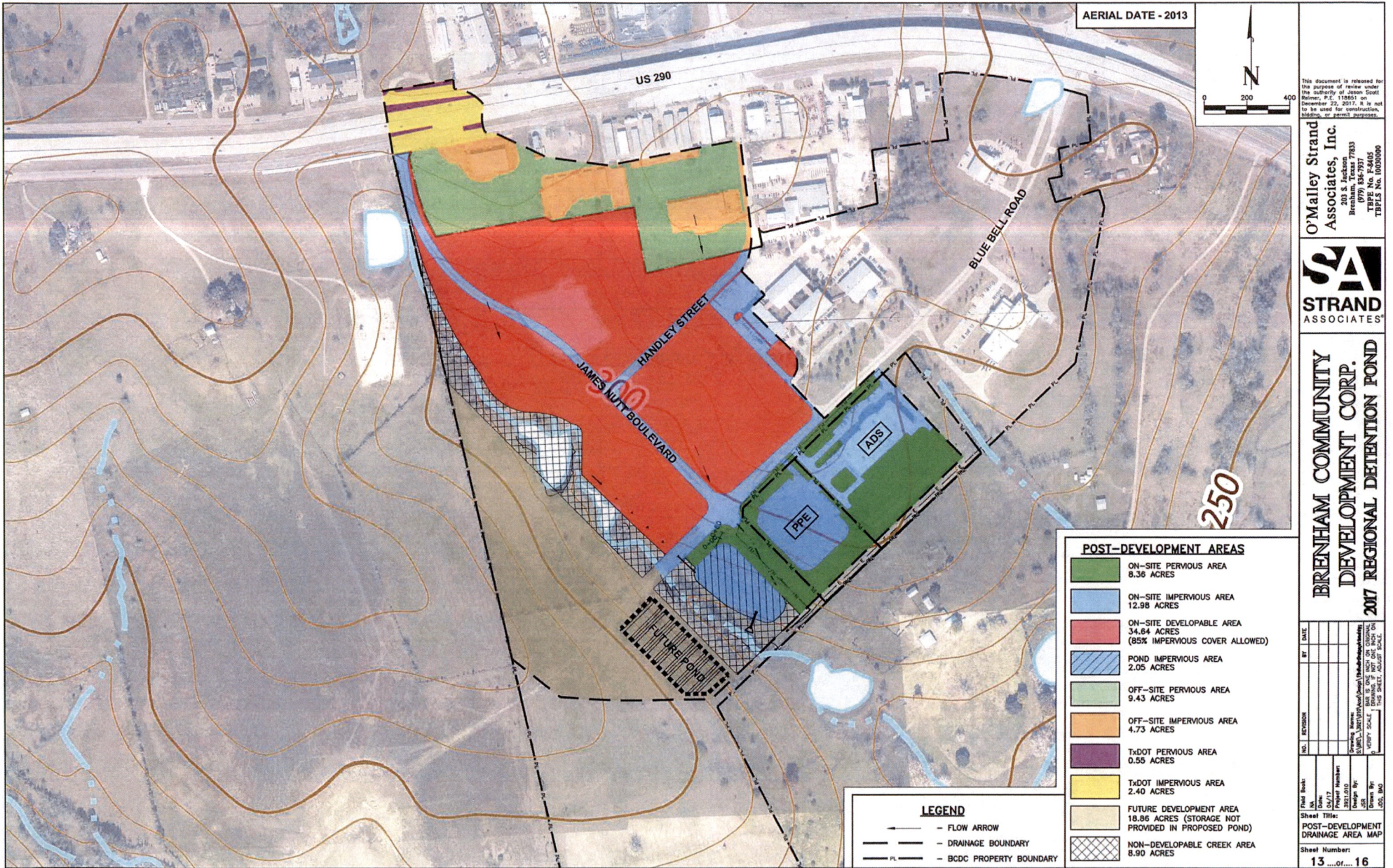
NO.	REVISION	DATE

Drawing Name: STORM SEWER III
 Project Number: 2017-010
 Date: 02/17
 Scale: 1" = 20' HORIZ. 1" = 4' VERT.
 Drawn By: JSC
 Check By: JSC
 Date: 02/17

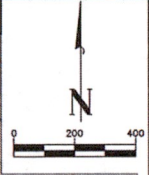
Sheet Title:
**STORM SEWER III
 PLAN & PROFILE**

Sheet Number:
10 of **16**





AERIAL DATE - 2013



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O'Malley Strand Associates, Inc.
 203 S. Jackson
 Brenham, Texas 77833
 (979) 836-7937
 TWP No. 1000000
 TBEIS No. 1000000



BRENHAM COMMUNITY DEVELOPMENT CORP.
2017 REGIONAL DETENTION POND

POST-DEVELOPMENT AREAS	
	ON-SITE PERVIOUS AREA 8.36 ACRES
	ON-SITE IMPERVIOUS AREA 12.98 ACRES
	ON-SITE DEVELOPABLE AREA 34.64 ACRES (85% IMPERVIOUS COVER ALLOWED)
	POND IMPERVIOUS AREA 2.05 ACRES
	OFF-SITE PERVIOUS AREA 9.43 ACRES
	OFF-SITE IMPERVIOUS AREA 4.73 ACRES
	TxDOT PERVIOUS AREA 0.55 ACRES
	TxDOT IMPERVIOUS AREA 2.40 ACRES
	FUTURE DEVELOPMENT AREA 18.86 ACRES (STORAGE NOT PROVIDED IN PROPOSED POND)
	NON-DEVELOPABLE CREEK AREA 8.90 ACRES

NO.	REVISION	BY	DATE

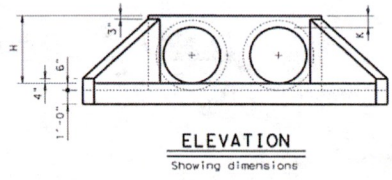
Drawn By: SA/ML	Checked By: SA/ML
Project Number: 05/17	Scale: AS SHOWN
Sheet Title: POST-DEVELOPMENT DRAINAGE AREA MAP	Sheet Number: 13 of 16

LEGEND

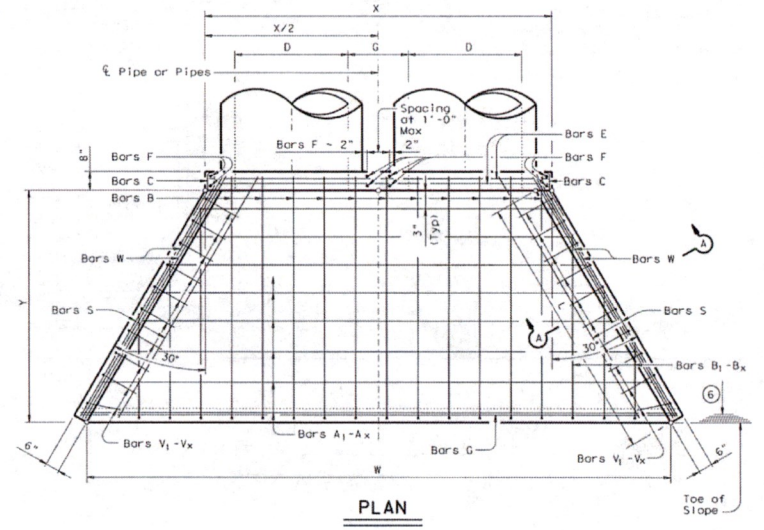
- FLOW ARROW
- DRAINAGE BOUNDARY
- BCDC PROPERTY BOUNDARY

DISCLAIMER: This standard is governed by the Texas Engineering Practice Act. No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

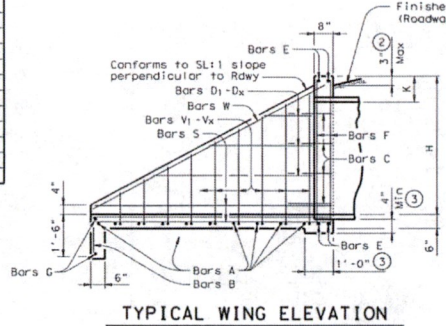
TABLE OF VARIABLE DIMENSIONS AND QUANTITIES FOR ONE HEADWALL									
SLOPE D:1.4:1 D:1.5:1	Values for one Pipe					Values to be added for each add'l Pipe			
	W	X	Y	L	Reinf (Lbs)	Conc (CY)	X and W	Reinf (Lbs)	Conc (CY)
12"	4'-7 1/2"	2'-6"	2'-10"	3'-3 1/4"	84	0.6	1'-9"	20	0.2
15"	5'-5 1/4"	2'-9 1/2"	3'-4"	3'-10 1/4"	99	0.7	2'-2"	24	0.3
18"	6'-4 1/4"	3'-1"	3'-10"	4'-5"	120	0.9	2'-8"	32	0.3
21"	7'-2 1/2"	3'-4 1/2"	4'-4"	5'-0"	137	1.1	3'-1"	43	0.4
24"	8'-2 1/2"	3'-9 1/2"	4'-10"	5'-7"	158	1.3	3'-7"	50	0.5
27"	9'-1"	4'-1"	5'-4"	6'-2"	173	1.5	3'-11"	56	0.6
30"	9'-11 1/2"	4'-4 1/2"	5'-10"	6'-8 3/4"	193	1.7	4'-4"	65	0.8
33"	10'-10"	4'-8"	6'-4"	7'-3 3/4"	216	2.0	4'-8"	71	0.9
36"	11'-8 1/4"	4'-11 1/2"	6'-10"	7'-10 1/2"	241	2.2	5'-1"	81	1.0
42"	13'-5 1/4"	5'-6 1/2"	7'-10"	9'-0 1/2"	290	2.6	5'-10"	97	1.3
48"	15'-9"	6'-1 1/2"	9'-4"	10'-9 1/2"	350	3.8	6'-7"	117	1.7
54"	17'-5 1/4"	6'-8 1/2"	10'-4"	11'-11 1/4"	415	4.5	7'-6"	151	2.1
60"	19'-2 1/4"	7'-3 1/2"	11'-4"	13'-1"	469	5.3	8'-3"	174	2.5
66"	20'-11 1/2"	7'-10 1/2"	12'-4"	14'-3"	530	6.2	8'-9"	194	2.9
72"	22'-8 1/2"	8'-5 1/2"	13'-4"	15'-4 3/4"	587	7.1	9'-4"	213	3.3
12"	6'-3"	2'-6"	4'-3"	4'-11"	114	0.8	1'-9"	22	0.2
15"	7'-5"	2'-9 1/2"	5'-0"	5'-9 1/4"	133	1.1	2'-2"	28	0.3
18"	8'-6 1/4"	3'-1"	5'-9"	6'-7 3/4"	166	1.3	2'-8"	37	0.5
21"	9'-8 1/4"	3'-4 1/2"	6'-6"	7'-6"	189	1.6	3'-1"	48	0.6
24"	11'-0"	3'-9 1/2"	7'-3"	8'-4 1/2"	221	2.0	3'-7"	58	0.7
27"	12'-2"	4'-1"	8'-0"	9'-2 3/4"	245	2.3	3'-11"	67	0.8
30"	13'-4"	4'-4 1/2"	8'-9"	10'-1 1/4"	287	2.7	4'-4"	77	1.0
33"	14'-5 1/4"	4'-8"	9'-6"	10'-11 1/4"	310	3.1	4'-8"	84	1.2
36"	15'-7 3/4"	4'-11 1/2"	10'-3"	11'-10"	343	3.5	5'-1"	96	1.4
42"	17'-11 1/2"	5'-6 1/2"	11'-9"	13'-6 3/4"	424	4.5	5'-10"	119	1.7
48"	21'-1 1/4"	6'-1 1/2"	14'-0"	16'-2"	527	6.1	6'-7"	146	2.3
54"	23'-5 1/2"	6'-8 1/2"	15'-6"	17'-10 3/4"	618	7.3	7'-6"	186	2.9
60"	25'-9 1/4"	7'-3 1/2"	17'-0"	19'-7 1/2"	707	8.7	8'-3"	219	3.4
66"	28'-1"	7'-10 1/2"	18'-6"	21'-4 1/4"	797	10.1	8'-9"	242	3.9
72"	30'-4 3/4"	8'-5 1/2"	20'-0"	23'-1 1/4"	910	11.7	9'-4"	272	4.4
12"	7'-10 3/4"	2'-6"	5'-8"	6'-6 1/2"	144	1.1	1'-9"	24	0.3
15"	9'-4"	2'-9 1/2"	6'-8"	7'-8 1/2"	177	1.5	2'-2"	32	0.4
18"	10'-9 1/2"	3'-1"	7'-8"	8'-10 1/4"	217	1.9	2'-8"	42	0.5
21"	12'-2 3/4"	3'-4 1/2"	8'-8"	10'-0"	254	2.3	3'-1"	57	0.7
24"	13'-9 1/2"	3'-9 1/2"	9'-8"	11'-2"	295	2.6	3'-7"	67	0.9
27"	15'-3"	4'-1"	10'-8"	12'-3 3/4"	328	3.3	3'-11"	77	1.0
30"	16'-8 1/4"	4'-4 1/2"	11'-8"	13'-5 3/4"	379	3.8	4'-4"	89	1.3
33"	18'-1 1/4"	4'-8"	12'-8"	14'-7 1/2"	417	4.5	4'-8"	101	1.4
36"	19'-7"	4'-11 1/2"	13'-8"	15'-9 1/4"	464	5.1	5'-1"	115	1.7
42"	22'-5 3/4"	5'-6 1/2"	15'-8"	18'-1"	575	6.5	5'-10"	141	2.1
48"	26'-6 1/4"	6'-1 1/2"	18'-8"	21'-6 3/4"	720	8.9	6'-7"	175	2.8
54"	29'-5"	6'-8 1/2"	20'-8"	23'-10 1/4"	863	10.7	7'-6"	226	3.6
60"	32'-3 3/4"	7'-3 1/2"	22'-8"	26'-2"	984	12.7	8'-3"	264	4.3
66"	35'-2 1/2"	7'-10 1/2"	24'-8"	28'-5 3/4"	1126	14.9	8'-9"	300	4.9
72"	38'-1 1/4"	8'-5 1/2"	26'-8"	30'-9 1/2"	1283	17.3	9'-4"	334	5.6
12"	11'-2"	2'-6"	8'-6"	9'-9 3/4"	220	1.9	1'-9"	28	0.4
15"	13'-2 1/4"	2'-9 1/2"	10'-0"	11'-6 1/2"	264	2.5	2'-2"	37	0.5
18"	15'-2 1/2"	3'-1"	11'-6"	13'-3 1/4"	326	3.2	2'-8"	50	0.7
21"	17'-2 3/4"	3'-4 1/2"	13'-0"	15'-0 1/4"	381	3.9	3'-1"	69	0.9
24"	19'-4 1/2"	3'-9 1/2"	14'-6"	16'-9"	447	4.8	3'-7"	80	1.2
27"	21'-4 3/4"	4'-1"	16'-0"	18'-5 3/4"	506	5.7	3'-11"	96	1.4
30"	23'-5 1/4"	4'-4 1/2"	17'-6"	20'-2 1/2"	587	6.7	4'-4"	110	1.7
33"	25'-5 1/2"	4'-8"	19'-0"	21'-11 1/4"	667	7.8	4'-8"	127	2.0
36"	27'-5 3/4"	4'-11 1/2"	20'-6"	23'-8"	727	9.0	5'-1"	144	2.3
42"	31'-6 1/4"	5'-6 1/2"	23'-6"	27'-1 1/2"	914	11.5	5'-10"	179	3.0
48"	37'-3 1/2"	6'-1 1/2"	28'-0"	32'-4"	1181	15.9	6'-7"	231	4.0
54"	41'-4 1/4"	6'-8 1/2"	31'-0"	35'-9 1/2"	1412	19.2	7'-6"	300	5.0
60"	45'-4 3/4"	7'-3 1/2"	34'-0"	39'-3"	1619	22.9	8'-3"	353	6.0



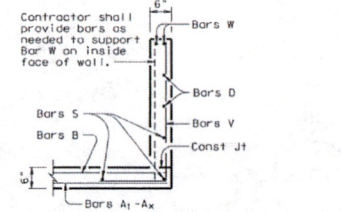
- Quantities shown are for concrete pipe and will increase slightly for metal pipe installations.
- For vehicle safety, curbs shall project no more than 3" above finished grade. Curb heights shall be reduced, if necessary, to meet these requirements. No changes will be made in quantities and no additional compensation will be allowed for this work.
- Provide a 1'-0" footing as shown where required to maintain 4" Min cover for pipe.
- Quantities shown are for one structure end only (one headwall).
- Min Length = 6" + 3" x $\left(\frac{12 \times H - 7}{12 \times L}\right)$
Max Length = 12 x H - 3" x $\left(\frac{12 \times H - 7}{12 \times L}\right) - 1'$
- Lengths of wings based on SL:1 Slope along this line.



PLAN



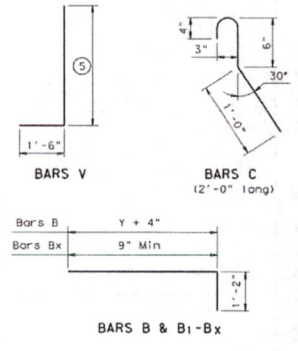
TYPICAL WING ELEVATION



SECTION A-A

TABLE OF REINFORCING STEEL			
Bar	Size	Spa	No.
A	# 4	1'-0"	~
B	# 3	1'-6"	~
C	# 4	1'-0"	~
D	# 3	1'-0"	~
E	# 5	~	4
F	# 5	~	~
G	# 3	~	2
S	# 4	~	6
V	# 4	1'-0"	~
W	# 5	~	4

TABLE OF CONSTANT DIMENSIONS			
	G	K	H
12"	9'	1'-0"	2'-0"
15"	11'	1'-0"	2'-3"
18"	1'-2"	1'-0"	2'-6"
21"	1'-4"	1'-0"	2'-9"
24"	1'-7"	1'-0"	3'-0"
27"	1'-8"	1'-0"	3'-3"
30"	1'-10"	1'-0"	3'-6"
33"	1'-11"	1'-0"	3'-9"
36"	2'-1"	1'-0"	4'-0"
42"	2'-4"	1'-0"	4'-6"
48"	2'-7"	1'-0"	5'-3"
54"	3'-0"	1'-0"	5'-9"
60"	3'-3"	1'-0"	6'-3"
66"	3'-3"	1'-0"	6'-9"
72"	3'-4"	1'-0"	7'-3"



GENERAL NOTES:
 Designed according to AASHTO LRFD Specifications.
 Reinforcing steel shall be placed with the center of the outside layer of bars 2" from the surface of the concrete.
 All reinforcing steel shall be Grade 60. All concrete shall be Class "C" and shall have a minimum compressive strength of 3600 psi.
 No bridge rails of any type may be mounted directly to these culvert headwalls.

CONCRETE HEADWALLS WITH FLARED WINGS FOR 0° SKEW PIPE CULVERTS

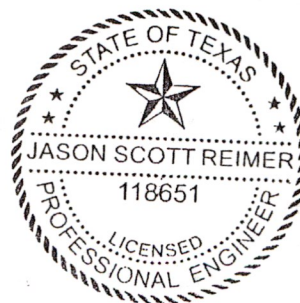
CH-FW-0

File: chfw0std.dwg	By: TJDOT	Ch: TJDOT	On: TJDOT	Ex: GAR
© TxDOT February 2010	FOOT	SECT	AND	HEADWALL
REVISORS				
DATE	COUNTY			SHEET 00

CITY OF BRENHAM
BRENHAM COMMUNITY DEVELOPMENT CORPORATION (BCDC)
REGIONAL DETENTION POND
ENGINEER'S OPINION OF PROBABLE PROJECT COST
O'MALLEY STRAND PROJECT NO. 3921.010

ITEM DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
Business Center Developable Area (Base Bid)			
Mobilization	1 LS	\$ 45,000.00	\$ 45,000.00
Excavation	21,360 CY	\$ 4.00	\$ 85,440.00
Embankment with Density Control	13,515 CY	\$ 8.00	\$ 108,120.00
Reinforced Concrete Outlet Structure	1 EA	\$ 15,000.00	\$ 15,000.00
72" Reinforced Concrete Pipe	70 LF	\$ 350.00	\$ 24,500.00
48" Reinforced Concrete Pipe	266 LF	\$ 175.00	\$ 46,550.00
18" Reinforced Concrete Pipe	78 LF	\$ 60.00	\$ 4,680.00
Flared Wingwall w/ dissipaters (72" RCP)	1 EA	\$ 18,000.00	\$ 18,000.00
Flared Wingwall w/ dissipaters (48" RCP)	2 EA	\$ 14,000.00	\$ 28,000.00
Throat Inlet / Junction Box	4 EA	\$ 5,000.00	\$ 20,000.00
Concrete Slope Paving (5-inch thick)	105 SY	\$ 70.00	\$ 7,350.00
Concrete Pilot Channel (4-inch thick)	210 SY	\$ 60.00	\$ 12,600.00
Stabilized Construction Exit	1 LS	\$ 5,000.00	\$ 5,000.00
Soil Retention Blankets	280 SY	\$ 5.00	\$ 1,400.00
Seeding	26,000 SY	\$ 0.50	\$ 13,000.00
Vegetative Watering	406 MG	\$ 20.00	\$ 8,120.00
Sediment Control Fence	1,860 LF	\$ 5.00	\$ 9,300.00
Construction Subtotal			\$ 452,060.00
Contingencies (10%)			\$ 45,206.00
Base Bid Total Construction Cost			\$ 497,266.00
Precision Polymer Engineering (Alternate Bid No. 1)			
Excavation	22,020 CY	\$ 4.00	\$ 88,080.00
Embankment with Density Control	55 CY	\$ 8.00	\$ 440.00
30" Reinforced Concrete Pipe	203 LF	\$ 100.00	\$ 20,300.00
Throat Inlet / Junction Box	1 EA	\$ 5,000.00	\$ 5,000.00
Seeding	950 SY	\$ 0.50	\$ 475.00
Vegetative Watering	15 MG	\$ 20.00	\$ 300.00
Sediment Control Fence	68 LF	\$ 5.00	\$ 340.00
Construction Subtotal			\$ 114,935.00
Contingencies (10%)			\$ 11,493.50
Alternate Bid No. 1 Total Construction Cost			\$ 126,428.50
Advanced Data Storage (Alternate Bid No. 2)			
Remove & Dispose of 24" HDPE Pipe	28 LF	\$ 50.00	\$ 1,400.00
Embankment with Density Control	3,034 CY	\$ 8.00	\$ 24,272.00
30" Reinforced Concrete Pipe	376 LF	\$ 100.00	\$ 37,600.00
Throat Inlet / Junction Box	1 EA	\$ 5,000.00	\$ 5,000.00
Seeding	3,900 SY	\$ 0.50	\$ 1,950.00
Vegetative Watering	61 MG	\$ 20.00	\$ 1,220.00
Sediment Control Fence	233 LF	\$ 5.00	\$ 1,165.00
Construction Subtotal			\$ 72,607.00
Contingencies (10%)			\$ 7,260.70
Alternate Bid No. 2 Total Construction Cost			\$ 79,867.70

Jason Reimer
12/22/17



MINUTES

BRENHAM COMMUNITY DEVELOPMENT CORPORATION

November 16, 2017

A meeting of the Brenham Community Development Corporation was held on August 17, 2017, at City Hall, 2nd Floor Conference Room, 200 W. Vulcan, Brenham, Texas beginning at 7:30 a.m.

Board members present were Charles Moser, Jason Kiemsteadt, Atwood Kenjura, John Hasskarl, Darrell Blum, and Bill Betts.

Board member not present was David Cone.

City of Brenham staff members present were Terry Roberts, Carolyn Miller, Ryan Rapelye, Lowell Ogle, Dane Rau, Wende Ragonis, Lori Lakatos, Jeana Bellinger, Casey Redman, Jennifer Eckermann and Paula Shields.

Others in attendance were Mayor Milton Tate, and Page Michel from EDF

- 1. Chairman Charles Moser called the meeting to order**
- 2. The Invocation and Pledges to the Flags Followed**

WORK SESSION

- 3. Discussion and Update on the Engineering Study from Jones and Carter, Inc. Related to the Southwest Industrial Park, Section III, Detention Pond**

City Engineer Lori Lakatos provided the update on the Engineering Study from Jones and Carter. The study was to evaluate the existing detention pond in the Southwest Industrial Park, Section III (SWIP III) to determine its capacity to serve SWIP III.

The existing pond was constructed in 2011 and 2012 along with other improvements for SWIP III. The original plans only required that the outlet structure and dam of the detention pond be constructed, with the remaining construction to be completed once SWIP III started to develop. During construction, a contractor who was looking for fill dirt for the US Highway 290 expansion project approached the BCDC. In exchange for the fill material, the contractor offered to excavate the pond to its ultimate size. The excavation was completed and no additional work has been conducted on the pond since 2012.

The pond was evaluated and found to not have adequate capacity for the SWIP III and Gurrech properties. Jones and Carter, Inc.'s new design utilizes all the area within the detention pond reserve and maximizes available storage. The new pond design allows for 85 percent impervious coverage for SWIP III (134.3 acres) and Gurrech properties (44.2 acres) and has capacity for 20 additional impervious acres outside of those properties. Total capacity of the detention pond will be 198.5 acres.

4. Discussion and Update on the Brenham Family Park

Public Works Director Dane Rau provided the update on the Brenham Family Park. Rau stated that the Brenham Family Park Subcommittee met on October 24, 2017 with Jones and Carter, Inc. to review the draft Brenham Family Park Master Plan. The subcommittee members are Darrell Blum and John Hasskarl from the BCDC and Bill Betts and Paula Buls from the Parks and Recreation Advisory Board.

Rau explained that the Chapter 5: Needs Assessment and Identification in the 2015-2025 Parks, Recreation and Open Spaces Master Plan outlines the park needs for Brenham and was utilized when creating the Brenham Family Park Master Plan. The draft Brenham Family Park Master Plan identifies various phases for the development of the Brenham Family Park and includes many of the needs identified in the 2015-2025 Parks, Recreation and Open Spaces Master Plan. The draft Brenham Family Park Master Plan will be presented to City Council on December 7, 2017 as a Work Session Item. A phase-in approach will take place for park development as funds become available, either through grants received, public donations or future city budgets.

A four-acre lake structure/detention pond will begin in the fall of 2018. The detention pond is needed prior to development on the private tracts off of South Chappell Hill Street. The funds for the detention pond were set aside by the Kruse family and BCDC. Three conceptual drawings were discussed on how the Brenham Family Park may look when completed.

Conceptual drawings of the Brenham Family Park was shown to the Board. Rau explained that there are quite a few trails in this proposed park, which is consistent with the citizen's survey conducted for the 2015-2025 Parks, Recreation and Open Spaces Master Plan. Rau explained that a policy will be established for naming rights for the amenities at the Brenham Family Park.

Chair Charles Moser asked if there was a need for another community room. Community Services Director Wende Ragonis explained that there was definitely a need.

City Manager Terry Roberts explained that next steps are to continue to meet with the subcommittee regarding the plans for the park, seeking applicable grants and obtaining budget approval in FY18-19.

5. Discussion and Presentation Related to Design Standards and Guidelines for the Main Street Initiative Grant Program

Community Services Director Wende Ragonis provided a presentation on the Design Standards and Guidelines for the Main Street Initiative Grant Program. Ragonis explained that the Economic Development Subcommittee of Main Street, chaired by Jim Moser, created a Design Guidelines for the Brenham Downtown Historic District. The Guidelines provide property owners with a mechanism for the maintenance and improvements to the site and buildings of the Brenham Downtown Historic District. These guidelines will assist with properties maintaining the historic character and keeping integrity intact. The Guidelines follow the Secretary of the Interior's Standards for the Treatment of Historic Properties and the Secretary of Interior's Standard for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings. Main Street will seek to have these Guidelines approve by Resolution by the City Council.

6. Discuss and Possibly Act Upon the Approval of the Minutes from the August 17, 2017 Regular Meeting

A motion was made by John Hasskarl and seconded by Darrell Blum to approve the minutes from the August 17, 2017, as corrected.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

7 Discuss and Possibly Act Upon FY2016-17 Fourth Quarter Financial Reports

Assistant City Manager – Chief Financial Officer Carolyn Miller presented the financial report for the third quarter FY 17:

Sales Tax Revenue

Miller explained that the FY17 sales tax revenue budget was increased by 2% over the prior year's budgeted amount. Miller stated that Actual FY17 sales tax revenues of \$1,609,973 finished the year \$70,342 or 4.5% ahead of budget and \$58,656 ahead of FY16 actuals.

Financial Statements

Miller explained that the *Combined Balance Sheet* was updated to include the Southwest Industrial Park Section Three (SWIP III) detention pond contribution of \$98,662. When the Bluebonnet Electric contribution was made in 2011, this amount was inadvertently recorded as income (sale of property) and we are now reclassifying the amount as a liability. The balance sheet was also updated to include \$36,968 received from Precision Polymer's contribution to the storm water detention facilities.

Miller stated that the *Economic Development and Brenham Business Center* operating report shows a deficit of \$629,317 for FY17, bringing reserves for this operation to \$60,456. The deficit is a result of two items: the second and final EDA Grant Matching Contribution of \$150,000 and the use of approximately \$388,000 of reserves for the purchase of 45 acres of land near the Southwest Industrial Park. In addition, \$28,791 of engineering costs incurred this year relates to the construction of the Brenham Business Center detention pond and \$11,283 of engineering costs related to the SWIP III detention pond. The Notes Payable expenditure line items show an increase over the prior year because BCDC began repaying the 2010 note payable to the City's Electric Fund in FY17.

On the *Recreation* side, ended the year with an operating surplus of \$145,534, increasing the fund balance for this operation to \$851,336. Eleven of the thirteen approved parks and recreation projects for FY17 have been completed or were in progress as the third quarter. Funding for the Fireman's Park Restroom upgrades (\$250,000) and the Douglas Street Linear Park Design (\$15,000) was transferred to the Parks Capital Improvement Fund.

Under the *BCDC Capital Projects Fund*, in FY17 BCDC authorized the transfer of \$46,442 to the Capital Projects Fund for costs related to developing a master plan for the Brenham Family Park. At year's end, \$32,493 had been paid to Jones and Carter for these engineering and design services. Miller explained the Capital Projects Fund ended the year with \$411,495 in reserves; \$13,950 is allocated for the completion of the Brenham Family Park master plan design and the remaining balance of \$397,545 is available for future infrastructure costs for the new park.

A motion was made by Bill Betts and seconded by Jason Kiemsteadt to approve the FY2016-17 Fourth Quarter Financial Reports as presented.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

8. Discuss and Possibly Act Upon the Approval of Design Standards and Guidelines for the Main Street Initiative Grant Program

Community Services Director Wende Ragonis explained that this item is an action item related to the work session item discussed earlier related to the Design Standards and Guidelines for the Main Street Initiative Grant Program.

A motion was made by Darrell Blum and seconded by John Hasskarl to approve the Design Standards and Guidelines for the Main Street Initiative Grant Program.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

9. Discuss and Possibly Act Upon a Recommendation from the Southwest Industrial Park Section III, Property Owner’s Association for the Annexation of Additional Land to the Declaration of Covenants, Conditions and Restrictions of Southwest Industrial Park Section III, and Authorize the President to Execute Any Necessary Documentation

City Engineer Lori Lakatos presented this item. Lakatos explained that Kountry Boys Sausage & Bakery requested the annexation of their property into the Southwest Industrial Park, Section III to utilize the detention capacity for the remainder of their developable property. Based on the redesign and capacity calculations completed by Jones and Carter, there is sufficient volume for Kountry Boys to be included in SWIP III. The recommendation is to annex the entire 3 acres with a detention capacity for 2.38 acres.

A motion was made by Darrell Blum and seconded by Bill Betts to adopt the resolution for a recommendation from the Southwest Industrial Park Section III, Property Owner’s Association for the annexation of Kountry Boy Sausage & Bakery to the Declaration of Covenants, Conditions and Restrictions of Southwest Industrial Park Section III and authorize the President to execute any necessary documentation.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

10. Discuss and Possibly Act Upon a Partial Release and Termination of the Right of First Refusal Between the Brenham Community Development Corporation (BCDC) and the Beckendorf Family Trust and Authorize the President to Execute Any Necessary Documentation

City Engineer Lori Lakatos presented this item. Lakatos explained that in 1996 the BCDC entered into an agreement of Right of First Refusal on approximately 68.6 acres owned by Fritz W. Beckendorf. Since the agreement was executed, the BCDC acquired 29.062 acres from Beckendorf as part of the Brenham Business Center in 1998. In 2004, BCDC approved the release of 5.2-acre tract from the Right of First Refusal so that it could be transferred to John F. Beckendorf. No record information was found regarding this release; however, this property was transferred to John F. Beckendorf.

A request is being made to release the remainder of the property of approximately 39.54 acres from the Right of First Refusal to allow the Beckendorf Family to sell the remaining property. Del Sol would like to purchase the 32.16-acre tract by the end of the year. Their current plan is to rezone 8.07 acres from R-1 (Residential) and B-1 (Mix Use) districts to I (Industrial district. This tract is adjacent to their current property. The 39.54 acres includes the 5.2 acre that was previously approved to release to Beckendorf by BCDC.

A motion was made by John Hasskarl and seconded by Darrell Blum to approve Partial Release and Termination of the Right of First Refusal between the Brenham Community Development Corporation and the Beckendorf Family Trust and authorize the President to execute any necessary documentation.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

11. Discuss and Possibly Act Upon Resolution Requesting the Annexation of Approximately 44.068 Acres of Land into the City Limits of the City of Brenham

City Secretary Jeana Bellinger presented this item. Bellinger explained that she is recommending the 44.068 acres recently purchased by the BCDC be annexed into the city limits so that this tract can become part of the Southwest Industrial Park, Section III. Bellinger explained that the annexation process will take approximately four to six months to complete.

A motion was made by Bill Betts and seconded by Atwood Kenjura to approve the BCDC President to request the annexation of approximately 44.068 acres of land with an industrial zoning into the city limits of the City of Brenham.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

12. Discuss and Possibly Act Upon the Appointment of a Brenham Community Development Corporation (BCDC) Board Member to Serve on the Southwest Industrial Park, Section III, Property Owners Association Board of Directors

City Secretary Jeana Bellinger presented this item. Bellinger explained that in 2015 the BCDC Board appointed Darrell Blum and Bill Betts to serve on the Southwest Industrial Park, Section III (SWIP III), Property Owners Association (POA) Board of Directors. In accordance with Article IV of the SWIP III Bylaws, now that there are three (BCDC, EDF and Bluebonnet Electric) property owners, BCDC's representation on the POA Board can be reduced to one (1) member.

The POA had their organization meeting on October 31, 2017 and Darrell Blum was elected by the other property owners to serve as President of the POA Board of Directors.

A motion was made by Bill Betts and seconded by Atwood Kenjura to approve the appointment of Darrell Blum, member of the Brenham Community Development Corporation (BCDC) to serve on the Southwest Industrial Park, Section III, Property Owners Association Board of Directors.

Chairman Moser called for a vote. The motion passed with the Board voting as follows:

Chairman Charles Moser	Yes
Board Member Bill Betts	Yes
Board Member Jason Kiemsteadt	Yes
Board Member Darrell Blum	Yes
Board Member Atwood Kenjura	Yes
Board Member John Hasskarl	Yes
Board Member David Cone	Absent

13. Discussion on 2018 Meeting Dates and Times

Chairman Charles Moser asked the Board to note the proposed dates and times for the 2018 BCDC meetings. Dates and times may be adjusted as needed.

14. Economic Development Foundation Update

➤ **FY 2016-17 Fourth Quarter Report**

Economic Development Foundation President Page Michel provided the highlights from the fourth quarter report.

15. Staff Updates

➤ **Administrative**

- BCDC Board wished Terry Roberts well as he prepares to retire early January 2018.

➤ **City Retail Update**

- Conversations are still ongoing with Project Chatt.
- Staff/EDF will be attending a retail conference in Dallas early November.

➤ **Parks & Recreation Update**

- O'Malley Strand Associates, Inc. are currently working on the design plan for improvements at Henderson Park.
- Fireman's Park Restroom project has had some delays but the pad installation is in progress.
- O'Malley Strand Associates, Inc. are working on the parking lot design at All Sports Building.

The meeting was adjourned.

Charles Moser
Chairman

ATTEST:

Jeana Bellinger, TRMC, CMC
Secretary



MEMORANDUM

To: BCDC Board and City Manager
From: Stacy Hardy, Comptroller
Subject: BCDC Second Quarter FY17-18 Financial Statements
Date: April 16, 2018

Attached are the second quarter FY17-18 financial statements for BCDC. Notable trends or transactions are discussed below.

Sales Tax Revenue

For FY18, we increased our sales tax revenue budget by 4% over the prior year's revised annual estimate. With five months of collections received, FY18 sales tax revenue is trending below budgeted levels. For October, November and February, collections showed an increase from FY17 while December and January collections lagged behind the prior year. Cumulatively, FY18 sales tax revenue is \$19,401 behind budget. A budget estimate was used for March 2018 collections.

Financial Statements

The *Economic Development and Brenham Business Center* operations report shows an operating deficit of \$139,243 through the second quarter of FY18 with two items contributing to this unfavorable performance. First, Notes Payable to the City has increased from \$35,612 in FY17 to \$109,362 in FY18 due to repayments on 2010 and 2017 borrowings from the City to finance SWIP business park expansion. Second, engineering and design work began on the Park and Church Street Linear project and we transferred the approved budget amount of \$150,000 to a capital projects fund. All other operating expenditures were within budget levels and comparable to prior year.

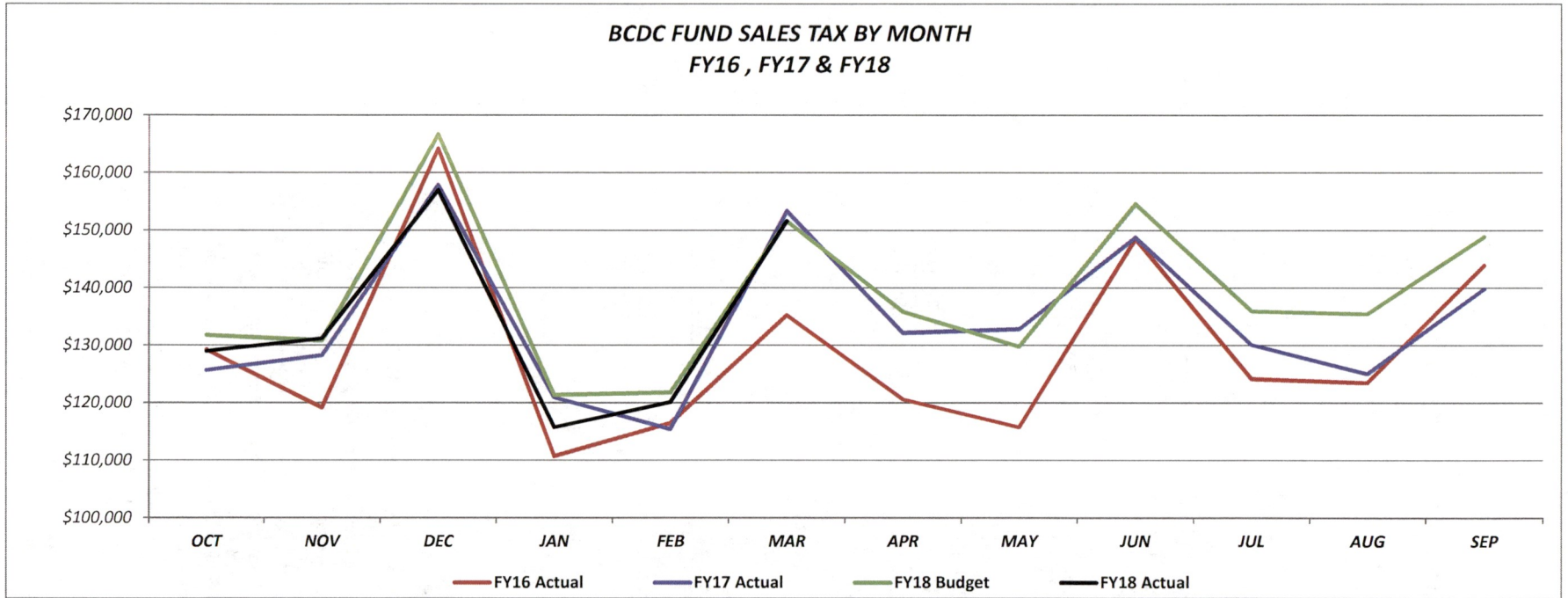
On the *Recreation* side, five (5) of the 10 approved parks and recreation projects for FY18 have been completed as of the second quarter. All other funded projects are in progress and are expected to be completed during the third and fourth quarters of FY18. The *Recreation* side ended the quarter with an operating surplus of \$284,686.

BCDC Capital Projects

The final payment on the Brenham Family Park master plan was made in March. No other activity occurred in the BCDC Capital Projects Fund for the second quarter of FY18. Approximately \$400,000 of the original \$657,000 allocated for new park infrastructure costs is available for future project expenditures.

After reviewing this information, should you have any questions prior to Thursday's meeting, do not hesitate to contact me directly at 979-337-7570.

**BCDC FUND SALES TAX BY MONTH
FY16 , FY17 & FY18**



	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	TOTAL
FY16 Actual	129,223	119,158	164,157	110,698	116,480	135,219	120,593	115,778	148,534	124,156	123,450	143,871	1,551,317
FY17 Actual	125,629	128,233	157,825	120,923	115,432	153,355	132,131	132,802	148,771	130,100	125,004	139,768	1,609,973
FY18 Budget	131,741	130,850	166,659	121,321	121,792	151,618	135,854	129,777	154,577	135,963	135,468	148,851	1,664,472
FY18 Actual	128,994	131,176	156,977	115,719	120,098	151,618							804,582

Budget vs. Actual Based on Allocated Budget

Difference	(2,747)	326	(9,682)	(5,603)	(1,694)	0							(19,401)
Cummulative	(2,747)	(2,422)	(12,104)	(17,707)	(19,401)	(19,401)							

**BRENHAM COMMUNITY DEVELOPMENT CORPORATION
COMBINED BALANCE SHEET
YEAR TO DATE ACTUAL PERFORMANCE
FOR THE QUARTERS ENDING MARCH 31, 2017 AND 2018**

	YTD Actual 3/31/2017		YTD Actual 3/31/2018		Percent Incr (Decr)
<u>Assets</u>					
Cash and Equivalents	\$ 1,249,400		\$ 672,538		-46.17%
Certificate of Deposit-Bank of Brenham	500,000	D	500,000	D	
Sales Tax Receivable	138,557	A	271,716	B	96.10%
Total Assets	<u>\$ 1,887,957</u>		<u>\$ 1,444,254</u>		-23.50%
<u>Liabilities and Fund Balance</u>					
Accrued Liabilities	\$ 269,866	C	\$ 276,589	C	2.49%
Detention Pond Payable-SWIP III	-		73,459	E	
Detention Pond Payable-BBC	36,968	F	36,968	F	0.00%
Total Liabilities	306,834		387,016		
<u>Fund Balance</u>					
Beginning Fund Balance, Restated	1,494,237		911,794		
Excess Revenues Over Expenditures	86,886		145,444		
Total Fund Balance	<u>1,581,123</u>		<u>1,057,238</u>		-33.13%
Total Liabilities and Fund Balance	<u>\$ 1,887,957</u>		<u>\$ 1,444,254</u>		-23.50%

A - Receivable represents estimated sales tax for February and estimated sales tax for March 2017.

B - Receivable represents actual sales tax for February and March 2018.

C - Accrued Liabilities relate to 2nd quarter payables, debt service payments and inter-fund transfers which are being allocated quarterly to level out fund performance.

D - In February 2016, \$500,000 of excess cash reserves were invested in a 6 month Bank of Brenham Certificate of Deposit. This CD was renewed and matures in August 2018.

E - In 2011, \$98,662 of Bluebonnet Electric's land purchase price was set aside for their share of the costs related to the land acquisition and construction of the storm water detention facilities necessary to serve their property at the Southwest Industrial Park. In Dec. 2017, the cost per acre of the detention facilities was recalculated and an overpayment of \$25,203 was refunded to Bluebonnet Electric.

F - In 2014, \$36,968 of Precision Polymer's land purchase price was set aside for their share of the costs related to the land acquisition and construction of the storm water detention facilities necessary to serve their property at the Brenham Business Center.

**BRENHAM COMMUNITY DEVELOPMENT CORPORATION
 COMBINED STATEMENT OF REVENUES AND EXPENDITURES
 YEAR TO DATE PRO FORMA PERFORMANCE
 FOR THE QUARTERS ENDING MARCH 31, 2017 AND 2018**

	YTD Actual 3/31/2017	YTD Actual 3/31/2018	Percent Incr (Decr)
<u>Revenues</u>			
Sales Tax	\$ 786,599	\$ 804,582	2.29%
Interest	5,701	15,597	173.58%
Total Revenues	<u>792,300</u>	<u>820,179</u>	3.52%
<u>Expenditures</u>			
Lawn Maintenance	3,044	3,300	8.41%
Services - Electrical	3,415	3,424	0.26%
Legal Fees	2,606	1,740	-33.23%
Aquatic Center Fence (3 Phases)	37,663	-	
Aquatic Center Back Parking Lot	-	17,000	
Aquatic Center Scoreboard	-	1,930	
Park Trash Receptacles	8,120	31,818	
Hohlt and Jackson St. Park Pavilion Picnic Tables	4,180	-	
Downtown Christmas Stroll Attraction	10,000	10,000	
Basketball Court Improvements	38,698	17,127	
Hohlt Park Shade Canopies	38,641	-	
Fireman's Park Scoreboard Replacement (55% of total cost)	35,000	-	
Park & Church Street Linear Park	-	150,000	
Land Purchase	5,000	-	
Detention Pond Construction-BBC	2,892	-	
Detention Pond Construction-SWIP III	-	15,169	
Notes Payable to City - Principal & Interest	35,612	109,362	207.09%
EDF - EDA Grant Matching Contribution	100,000	-	
EDF Marketing	10,825	10,825	0.00%
EDF Operations	84,006	84,803	0.95%
Total Expenditures	<u>419,702</u>	<u>456,498</u>	8.77%
Revenues Over (Under) Expenditures	372,598	363,681	-2.39%
<u>Other Financing Sources (Uses)</u>			
Transfer to Debt Service Fund	(59,009)	-	10 Limited Tax Notes
Transfer to Debt Service Fund	(226,703)	(218,237)	09 Refunded Debt
Total Other Financing Sources (Uses)	<u>(285,712)</u>	<u>(218,237)</u>	
Total Surplus (Deficit)	<u>86,886</u>	<u>145,444</u>	
Beginning Fund Balance	1,494,237	911,794	
Estimated Ending Fund Balance	<u>\$ 1,581,123</u>	<u>\$ 1,057,238</u>	

**BRENHAM COMMUNITY DEVELOPMENT CORPORATION
ECONOMIC DEVELOPMENT & BRENHAM BUSINESS CENTER
YEAR TO DATE PRO FORMA PERFORMANCE
FOR THE QUARTERS ENDING MARCH 31, 2017 AND 2018**

	<u>YTD Actual</u> 3/31/2017	<u>YTD Actual</u> 3/31/2018	<u>Percent</u> <u>Incr (Decr)</u>
<u>Revenues</u> 35% of Combined			
Sales Tax	\$ 275,310	281,604	2.29%
Interest	1,995	5,459	173.63%
	<u>277,305</u>	<u>287,063</u>	<u>3.52%</u>
<u>Expenditures</u>			
Lawn Maintenance	3,044	3,300	8.41%
Services - Electrical	3,415	3,424	0.26%
Legal Fees	2,606	1,740	-33.22%
Note Payable to City - Principal & Interest	35,612	109,362	207.09%
EDF - EDA Grant Matching Contribution	100,000	-	
Park & Church Street Linear Park	-	150,000	
Land Purchase	5,000	-	
Detention Pond Construction-BBC	2,892	-	
Detention Pond Construction-SWIP III	-	15,169	
EDF Marketing	10,825	10,825	0.00%
EDF Operations	84,006	84,803	0.95%
Total Expenditures	<u>247,400</u>	<u>378,623</u>	<u>53.04%</u>
Revenues Over (Under) Expenditures	29,905	(91,561)	
<u>Other Financing Sources (Uses)</u>			
Transfer to Debt Service Fund - Principal	(57,500)	-	10 Limited Tax Notes
Transfer to Debt Service Fund - Interest	(1,510)	-	10 Limited Tax Notes
Transfer to Debt Service Fund - Principal	(46,590)	(45,847)	09 Refunded Debt
Transfer to Debt Service Fund - Interest	(2,940)	(1,834)	09 Refunded Debt
Total Other Financing Sources (Uses)	<u>(108,540)</u>	<u>(47,681)</u>	
Total Surplus (Deficit)	<u>(78,636)</u>	<u>(139,243)</u>	
Beginning Fund Balance	788,435	60,457	
Estimated Ending Fund Balance	<u>\$ 709,799</u> D	<u>\$ (78,786)</u> D	

D - At the 1/23/14 meeting, BCDC committed \$40,000 to be paid in FY19 per the terms of a Performance Agreement with Tempur Sealy.

BRENHAM COMMUNITY DEVELOPMENT CORPORATION
RECREATION
YEAR TO DATE PRO FORMA PERFORMANCE
FOR THE QUARTERS ENDING MARCH 31, 2017 AND 2018

	YTD Actual 3/31/2017	YTD Actual 3/31/2018	Percent Incr (Decr)
<u>Revenues</u> <i>65% of Combined</i>			
Sales Tax	\$ 511,289	\$ 522,978	2.29%
Interest	3,706	10,138	173.56%
	514,995	533,116	3.52%
<u>Expenditures</u>			
Aquatic Center Fence (3 Phases)	37,663	-	
Aquatic Center Back Parking Lot	-	17,000	
Aquatic Center Scoreboard	-	1,930	
Park Trash Receptacles	8,120	31,818	
Hohlt and Jackson St. Park Pavilion Picnic Tables	4,180	-	
Downtown Christmas Stroll Attraction	10,000	10,000	
Basketball Court Improvements	38,698	17,127	
Hohlt Park Shade Canopies	38,641	-	
Fireman's Park Scoreboard Replacement (55% of total cost)	35,000	-	
Total Expenditures	172,302	77,875	
Revenues Over (Under) Expenditures	342,693	455,241	
<u>Other Financing Sources (Uses)</u>			
Transfer to Debt Service Fund - Principal	(166,653)	(163,996)	09 Refunded Debt
Transfer to Debt Service Fund - Interest	(10,518)	(6,559)	09 Refunded Debt
Total Other Financing Sources (Uses)	(177,171)	(170,555)	
Total Surplus (Deficit)	165,522	284,686	
Beginning Fund Balance	705,802	851,337	
Estimated Ending Fund Balance	\$ 871,324	\$ 1,136,023	

**BCDC CAPITAL PROJECTS FUND
AS OF MARCH 31, 2018**

Funds Available	Budget	Total to Date	Fav (Unfav)
Transfer from BCDC - Brenham Family Park Infrastructure Costs	\$ 657,000	\$ 657,000	\$ -
Transfer from BCDC - Brenham Family Park Title Policy Costs	6,877	6,877	-
Contribution from Developer - Road Construction	735,044	735,044	-
Transfer from BCDC - Brenham Family Park Master Plan	46,442	46,442	-
Interest Income	3,161	6,564	3,403
Total Funds Available	1,448,524	1,451,927	3,403
Use of BCDC Funds			
Brenham Family Park			
Road construction to cul de sac - 25% City / 75% Kruse	967,743	967,743	-
Gessner Engineering - soil testing - 25% City / 75% Kruse	12,315	12,315	-
Jones & Carter - Park Master Plan	46,442	46,442	-
Creek crossing	225,000	-	225,000
Road extension to new park	72,000	-	72,000
Water line materials	70,545	-	70,545
Sewer line materials	30,000	-	30,000
Land - Title Policy	6,877	6,877	-
City Reimb of J&C road construction invoices paid by Developer	17,601	17,601	-
Sub Total	1,448,524	1,050,979	397,545
Contingency	-	-	-
Total Uses	\$ 1,448,524	\$ 1,050,979	\$ 397,545
Fund Balance	\$ -	\$ 400,948	



Memorandum

To: BCDC Board Members

From: Dane Rau

Date: April 13, 2018

Re: Discuss and Possibly Act Bid# 201007-20 Related to the All Sports Building
Parking Lot Construction

BCDC Board Members

During last year's funding meeting, the board voted to fund the construction of the All Sports Building (ASB) Parking Lot. Since the original ASB construction, this parking lot has been crushed asphalt and all the surrounding parking lots are asphalt with concrete curbs. Over time the crushed asphalt continues to cause maintenance issues with erosion and does not suite well for a facility that is rented out 48-50 weekends out of the year. Staff originally budgeted \$45,000 for the construction of this parking lot. It was my hope that a good size parking lot could be constructed for this amount. I later found out that with engineering costs and recent spikes in the cost of concrete and construction costs, the total project costs were much higher. We recently bid out the project through Strand and Associates who designed the parking lot and conducted the specifications related to the bid. Their costs to do this was \$15,000. This left us with \$30,000 for construction.

When the bids were opened on April 10th there were 3 bids received. The bids were broken out into a Schedule 1 Base Bid (Front Parking, Asphalt Option), Schedule 1 Additive Alternate Bid (Asphalt Option Side Drive Aisle, Exit onto Lounge, and Concrete Dumpster Pad) as well as Schedule 2 Base Bid (Front Parking, Concrete Option) and Schedule 2 Additive Alternate Bid (Concrete Option Side Drive Aisle, Exit on Lounge, and Concrete Dumpster Pad).

All bids came in over the \$30,000 that we have left for the project. My preferred recommendation is to complete the Schedule 1 Base Bid along with the Schedule 1 Additive Alternate Bid to make the project whole and finish it out once rather than coming back again. This option is going with concrete curb and gutter around the new parking lot, concrete curb on Lounge Rd, a concrete dumpster pad along with concrete on the turning radius around the dumpster pad. All other material will be asphalt as is the case with the existing parking adjacent to this facility. The cost to complete these two components is \$75,829.50. If we choose the asphalt option, our Street Department will do the asphalt work, striping, and wheel stop install work which is \$15,000 and is included in the \$75,892.50. In order to cover the difference for this option we would need an additional \$45,892.50. Again, I did not expect engineering to be \$15,000 or the costs for this parking lot rising well above our price of \$45,000.

The other option that was bid was Schedule 2 Base Bid and Schedule 2 Additive Alternate Bid. These bids provided an option to go with all concrete on both the front parking and the side aisle which would tie into Lounge Rd. This option totals \$96,006.50 in which \$5,000 of this would be done by the city regarding seeding, striping, and wheel stops. If this option is chosen, we would need an additional \$66,006.50.

If we move forward with this project, I would recommend awarding the Schedule 1 Base Bid along with the Schedule 1 Additive Alternate Bid (asphalt option) to Collier Construction in the amount shown on the bid tabulation. If this option is chosen then we would use the savings from another BCDC funded project to cover these costs which will be addressed in another item on the agenda.

We could also choose the the Schedule 2 Base Bid and the Schedule 2 Additive Alternate Bid which will make the entire parking lot concrete. I am ok with this and this option would give us a longer life on our parking lot but due to the amount and the current existing parking lots in the area I would suggest staying with Schedule 1 Base Bid and Schedule 1 Additive Alternate Bid. We could also postpone the parking lot construction but I would not recommend that.



Strand Associates, Inc.®
 203 South Jackson Street
 Brenham, Texas 77833
 (P) 979-836-7937
 (F) 979-836 7936

April 11, 2018

Mr. Dane Rau
 City of Brenham
 200 West Vulcan
 Brenham, TX 77833

Re: Hohlt Park - All Sports Building Parking Lot
 Contract No. 2017-20
 City of Brenham, Texas

Dear Dane:

Bids for the above-referenced project were opened on April 10, 2018. Three bids were received with the resulting bid tabulation enclosed.

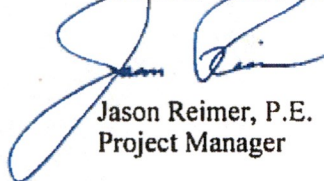
Collier Construction, LLC of Brenham, TX was the apparent low bidder at \$37,893.00 for Schedule 1 Base Bid and \$59,661.00 for Schedule 2 Base Bid. The bid included a bid bond for 5 percent and Addendum No. 1 was acknowledged.

Strand Associates, Inc.® has previously worked with Collier Construction, LLC on projects for Blinn College Student Housing Parking Lot. Based on our previous experience with this contractor, we have found Collier Construction, LLC to be responsible.

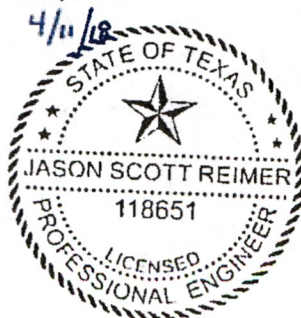
We suggest that you consider evaluating Collier Construction, LLC's financial status prior to award and other information submitted to you as required by Article 19.05.2 found in the Instructions to Bidders of the Contract Documents.

Sincerely,

STRAND ASSOCIATES, INC.®


 Jason Reimer, P.E.
 Project Manager

Enclosure



Bids Received: 10 A.M., APRIL 10, 2018

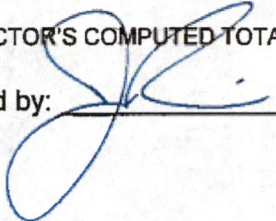
STRAND ASSOCIATES, INC.®
203 South Jackson Street
Brenham, TX 77833

HOHLT PART - ALL SPORTS BUILDING PARKING LOT
CONTRACT 2017-20
CITY OF BRENHAM, TEXAS

BID TABULATION SUMMARY

Bidder and Address	Bid Bond or Guarantee	Addenda Acknowledged	Schedule 1 Base Bid	Schedule 1 Additive Alternate Bid	Schedule 2 Base Bid	Schedule 2 Additive Alternate Bid
Collier Construction, LLC P.O. Box 1889 Brenham, TX 77834	Yes	Yes	\$37,893.00	\$22,936.50	\$59,661.00	\$31,345.50
Legacy Concrete Works, LLC P.O. Box 678 Brenham, TX 77834	Yes	Yes	\$51,090.00 *\$53,434.00	\$27,636.25	\$63,929.00 *\$63,873.00	\$35,069.50
Texcon P.O. Box 138 Kurten, TX 77862	Yes	Yes	\$93,438.00	\$27,853.00	\$112,146.00	\$52,290.00

*CONTRACTOR'S COMPUTED TOTAL

Reviewed by: 



MEMORANDUM

To: BCDC Board and City Manager

From: Stacy Hardy, Comptroller

Subject: Reallocation or Increased Funding of FY2017-18 Budgeted Funds for the All Sports Building Parking Lot Construction

Date: April 16, 2018

During the June 2017 funding meeting, BCDC approved funding of \$45,000 for the construction of the All Sports Building Parking Lot. As presented in the previous agenda item, additional funding will be needed in order to move forward with this project. Depending on which option is selected, an additional \$45,892.50 (asphalt) or \$66,006.50 (concrete) will be needed.

Also, during the June 2017 funding meeting, BCDC approved funding of \$100,000 for the replaster of the leisure pool (\$80,000) and therapy pool (\$20,000) at the Blue Bell Aquatic Center. Quotes for this work have been obtained and we anticipate approximately \$50,000 in savings on this project.

Staff is requesting that these savings be re-allocated to the All Sports Building Parking Lot project. If the concrete option for the parking lot is selected, then an additional amount of approximately \$16,000 will need to be re-allocated from contingency funds on the Recreation side of the BCDC budget. The Recreation side currently has \$209,670 set aside as a contingency amount in the FY2018 budget.



Memorandum

To: BCDC Board Members

From: Dane Rau

Date: April 17, 2017

Re: Discuss and Possibly Act Upon Henderson Park Improvements as Outlined in the Mini Master Plan Prepared by Strand Associates, Inc and Authorize the President to Execute Any Necessary Documentation

BCDC Board Members

Last year, the BCDC board members approved \$294,500 for Phase I improvements to Henderson Park. After discussion with Henderson Park users and the Parks Board, several items rose to the top for possible additions and consideration on funding.

These items were:

1. Playscape and Swing Set Near Pavillion
2. Covered Barbeque Pit Area
3. Parking and Area Lighting Improvements
4. ADA Improvements to Parking, Sidewalks, and Around Baseball Field
5. Baseball Field Improvements (fencing, grandstands, dugouts, shade structures, etc)
6. Building Modifications related to Accessibility

With these improvements we were able to conduct some in-house in which did not require engineering such as the playscape and swing set. This improvement has been completed and is active as of April 2nd. This expense along with the mini-park plan which has now identified our “menu” of items with estimated costs to them are our only expenses at the current time. The playscape and swing set was \$69,972 and the park mini-master plan was \$12,600. This totals \$82,572. We are left with approximately \$212,000 to decide on the “menu” of items that are submitted in the attached mini-park plan.

We have some discussion related to each item and also need to discuss which items may trigger another item to be done simeoltanesly. These are all much needed improvements to Henderson Park and based on funding we may be looking at several phases to complete all of them and much more. We really want to focus on what the community ask of us to consider and as more funding comes available we can complete the other items. We do want to come out of this meeting with direction and all agree on how we will spend the remaining \$212,000. These costs do include engineering, construction details, bidding specifications, and some contingency.

Other improvements that have been completed at Henderson in-house are basketball court improvements, which related to new goals and painted courts along with the demolition of the old storage shed between the kitchen and ballfield. Staff has also tidied up the electrical controls related to the irrigation system and the ballfield lighting controls. These are all improvements that have been made within the Parks Dept. budget.



Strand Associates, Inc.®
203 South Jackson Street
Brenham, Texas 77833
(P) 979-836-7937
(F) 979-836-7936

April 16, 2018

Mr. Dane Rau, Director of Public Works
City of Brenham
200 West Vulcan
Brenham, TX 77833

Re: City of Brenham, Texas
Henderson Park Planning

Dear Dane,

This letter presents our preliminary site plan and estimates of probable project cost for upgrades to the large baseball field and the pavilion area at Henderson Park. The original scope of this plan included the following features:

1. Covered barbeque pit near the pavilion, including access sidewalk.
2. Parking and area security lighting.
3. Handicapped accessible parking spaces in existing parking lot, handicapped accessible walkways from parking lot to all facilities in the area, and bleacher pads.
4. New fencing on baseball field, including net backstop with split face CMU stub wall, bullpens, 8-foot chain link foul line fence, 10-foot chain link outfield fence with screen in right field, and 16-foot chain link fence with screen in left and centerfield to provide a "batter's eye" backdrop and to make the 300-foot field "play bigger". Outfield fencing includes fence cap and foul poles.
5. New dugouts, including small storage room in one.
6. Bleachers (two each-8 rows by 21-feet and one-10 row by 49 feet 6 inches).
7. Bleacher shade covers (cantilevered).

It is our understanding that the City of Brenham (City) will fund and construct all field modifications within the confines of the fence.

Once we located the various components on the plan and developed estimates of probable project cost for them, it became apparent that the planned improvements could trigger the need for handicapped accessibility upgrades to the pavilion kitchen/restroom and the baseball restroom/concession buildings. After consulting with an accessibility review specialist, we have determined that accessibility improvements to these buildings will be required. Since the pavilion restroom supports the recently completed playground, we recommend that this building be upgraded in the first phase of improvements. The restroom building supporting the baseball field will need to be completed before, or concurrent with, the upgrades to the baseball field.

Attached is a preliminary site plan showing the locations of the proposed improvements. Following are estimates of probable project cost for each of the components listed above. Please note that we have included construction, engineering and contingencies in the cost of

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TBPE No. F-8405
TBPLS No. 10030000

Mr. Dane Rau
City of Brenham
Page 2
April 16, 2018

each component so that the cost for each is a standalone total budget as long as each construction contract is large enough to benefit from economy of scale.

1.	Pavilion kitchen/restroom accessibility upgrades, accessible parking spaces, accessible route from parking to pavilion and playground, and covered barbeque pit with access sidewalk	\$ 93,600
2.	Baseball restroom/concession accessibility upgrades and accessible route from parking to building	\$100,400
3.	Parking and area lighting	\$101,300
4.	Remaining sidewalks and bleacher pads	\$ 58,000
5.	Baseball field fencing, bullpens and backstop	\$210,000
6.	Dugouts	\$ 52,300
7.	Bleachers (assembly by City)	\$ 47,400
8.	Bleacher shade covers	<u>\$133,700</u>
	Grand Total	<u>\$796,700</u>

We have also developed a budget estimate to upgrade the outfield fence from chain link with a screen to an "R" panel sheet metal fence. The increase in cost for an "R" panel fence is estimated to be \$31,400.

We appreciate the opportunity to assist the City with this project and look forward to helping bring it to fruition.

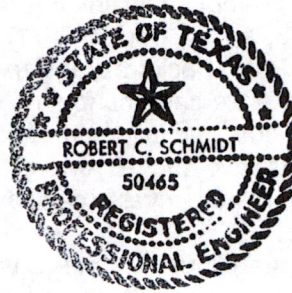
Best Regards,

Bob Schmidt

Robert C. Schmidt, P.E., R.P.L.S.

Attachment

c/att: Tommy Upchurch





PROP. HANDICAP ACCESSIBLE PARKING

NOTE: THESE LINES INDICATE EXISTING AND PROPOSED ACCESSIBLE PARKING SPACES FOR EXISTING AND NEW SPACES.

PROP. HANDICAP ACCESSIBLE CONCRETE WALKWAY

PROP. 8\"/>

PROP. 8\"/>

PROP. 8\"/>

PROP. 8\"/>

PROP. 8\"/>

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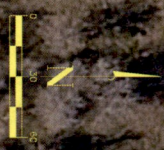
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PROP. 8\"/>

LEGEND

- PHASE 1 PAVEMENT IMPROVEMENTS
- PHASE 1 KITCHEN/RESTROOM ADA IMPROVEMENTS AND BBQ PIT
- PHASE 2-A PAVING IMPROVEMENTS
- PHASE 2-A CONCESSION/RESTROOM ADA IMPROVEMENTS
- PHASE 2-B PAVING IMPROVEMENTS
- PHASE 2-B STRUCTURE IMPROVEMENTS

NOTE:
PHASE 2-B CAN BE CONSTRUCTED IN MULTIPLE PHASES.



Field Book:	NO.	REVISION	BY	DATE
14				
Date:				
1/17/20				
Project Number:	3800.207			
Design By:	S:\BREV_1\3800\207\Acad\Exhibit\Master Plan.dwg			
Drawn By:	BAC			
Sheet Title:	MASTER PLAN			
Sheet Number:	1 of 1			

CITY OF BRENHAM
2018 HENDERSON PARK
IMPROVEMENTS PLAN



O'Malley Strand
Associates, Inc.
203 S. Jackson
Brenham, Texas 77833
(979) 836-7937
TBPE No. F-8405
TBPLS No. 1003000



MEMORANDUM

To: BCDC Board

From: Jeana Bellinger, TRMC, CMC
City Secretary

Subject: 3-D Seismic Survey in the Southwest Industrial Park, Section IV

Date: April 12, 2018

Back in February, the City of Brenham received a request from Diversified Land Management on behalf of Seitel Data, Ltd. to conduct a 3D seismic survey on the 44-acre Gurrech tract located in the Southwest Industrial Park, Section IV. Since BCDC is the landowner, this request is being brought to the Board for discussion.

Seismic surveying of this type typically involves sending vibrations into the ground by setting off small, underground explosive charges or the use of “thumper” trucks that pound the ground with metal plates. The vibrations reflect back into receivers placed in multiple locations that can measure the underground geophysical features, and that data is sold to companies that want to evaluate the presence of oil and gas for future production.

The seller of the Gurrech tract did retain all mineral rights associated with the 44 acres but waived and conveyed 100% of the surface rights to BCDC. Therefore, BCDC’s approval is required for any person/entity to use the surface of the property.

After receiving this request, staff reviewed the following issues with the City Attorney:

- BCDC does not own the mineral rights and would not benefit by gaining access to the information, even if Seitel Data is willing to share the data.
- Approving such testing would negatively impact the marketing of the property to business prospects because the permit would be binding on any buyers during the one year term of the permit.

Please note that due to the items listed above, it is the recommendation of staff as well as the City Attorney that BCDC not approve the request for 3D seismic survey on the 44-acre tract.

If you have any questions, please don’t hesitate to contact me at 979-337-7567.



**City of Brenham
Engineering Department**

200 W. Vulcan St.
Brenham, Texas 77833

P.O. Box 1059
Brenham, Texas 77834-1059

Memorandum

Date April 12, 2018
To Brenham Community Development Corporation (BCDC)
From Lori Lakatos, City Engineer/Director of Development Services
Subject Southwest Industrial Park Section III – Detention Pond

During the November 16, 2017 BCDC board meeting information regarding the Southwest Industrial Park Section III (SWIP III) detention pond design and capacity was presented. Jones and Carter determined that the detention pond could have a capacity of 198.5 acres. This volume included the following:

SWIP III – 134.3 acres
Gurrech Tract – 44.2 acres
Additional Detention Capacity – 20 acres of undeveloped property

Three acres of the additional detention capacity was granted to Kountry Boys for the additional development on their existing property within Southwest Industrial Park Section II.

While Jones and Carter finalized the design and preparing cost estimates for the 198.5 acre pond it was determined that a pond of this size will have to meet the dam requirements of the Texas Commission on Environmental Quality (TCEQ) regulations, as it exceeds six (6) feet in height and is over 50 acre-feet at the 100 year flood elevation. This is a concern because there are yearly dam safety and maintenance requirements. With this pond being turned over to a property owners association, at some point in the future, we want to make sure the Board is informed regarding the design and requirements for the pond.

Due to this possible issue, another option was analyzed to modify the outlet structure and reduce the capacity available within the pond. This option will remove the Gurrech Tract and 10 additional acres being served by this detention pond. The new design would lower the existing weir by 2 feet and the 100-year storm capacity would be under 50 acre-feet, which would exempt the pond from the TCEQ Dam Safety Program.

Another option is to reduce the impervious coverage allowed within the development to 70%. At that time, all of SWIP III, Gurrech Tract, and the Additional Detention Capacity (20 acres) could be added to the detention pond without exceeding the 50 acre-feet capacity.

Attached is the Jones and Carter Memo dated 4/12/18 and SWIP III Pond Exhibit.



MEMO

TO: Brenham Community Development Board Members

FROM: Grant L. Lischka, PE

DATE: April 12, 2018

RE: Southwest Industrial Park, Section 3
Detention Pond Improvements

Jones|Carter (JC) was asked to perform an analysis of detention options for the detention pond that serves the Southwest Industrial Park, Section III (SWIP3). The original plans (dated March 17, 2011) called for the dam for the detention pond to be constructed while the remainder of the pond would be excavated later.

SWIP3 is a 119.1-acre industrial subdivision that is generally bound by Industrial Boulevard to the north and the BNSF Railroad to the east. For detention purposes, an 8.5-acre tract of land, owned by the Brenham Economic Development Foundation (EDF), located at the intersection of Industrial Boulevard and Pickle Circle was added to the acreage. Also included was several smaller properties that are owned by the BCDC. These properties consist of 7.4 acres for a total of 135 acres that would be served by the detention pond constructed in SWIP3. The Drainage and Detention Report (dated November 30, 2012) lists the total acreage as 127.6 acres. The discrepancy is due to the smaller properties being left out of the original acreage calculations. For any analysis that was performed as a part of the current project, 135 acres was used. The original Drainage and Detention Report is an integral part of the current analysis, but the runoff conditions have been modified to allow for increased accuracy derived from new contour maps that were commissioned by the City of Brenham in 2014.

As part of this project, additional property that has been recently purchased by the BCDC has been included in the analysis. This new property is 44.2 acres commonly known as the Gurrech Tract, located on the east side of FM332. JC analyzed whether this property could be served by the SWIP3 detention pond. Additionally, JC was asked to analyze if there was detention capacity available for any other industrial areas in the watershed. All industrial properties were evaluated at the current City of Brenham maximum of 85% impervious cover.

Original Detention Pond

The original design of the detention pond contained a Phase 1 and a Future Phase. Phase 1 included only the construction of the detention pond dam and outlet structure. During the construction of the pond dam, a third-party contractor, working on the U.S. Highway 290 improvements, approached the Brenham Community Development Corporation (BCDC) and offered to excavate the remainder of the pond and use the excavation for their project. Due to the large cost savings to the BCDC, this plan was approved. The pond was excavated approximately to the final dimensions, with the understanding that final grading and other improvements would need to be addressed later.

Current Detention Pond

JC performed an as-built survey of the current detention pond to establish quantities needed for the improvements. The survey discovered that while the pond was generally excavated to the proposed grades and dimensions, there are discrepancies that need to be addressed.

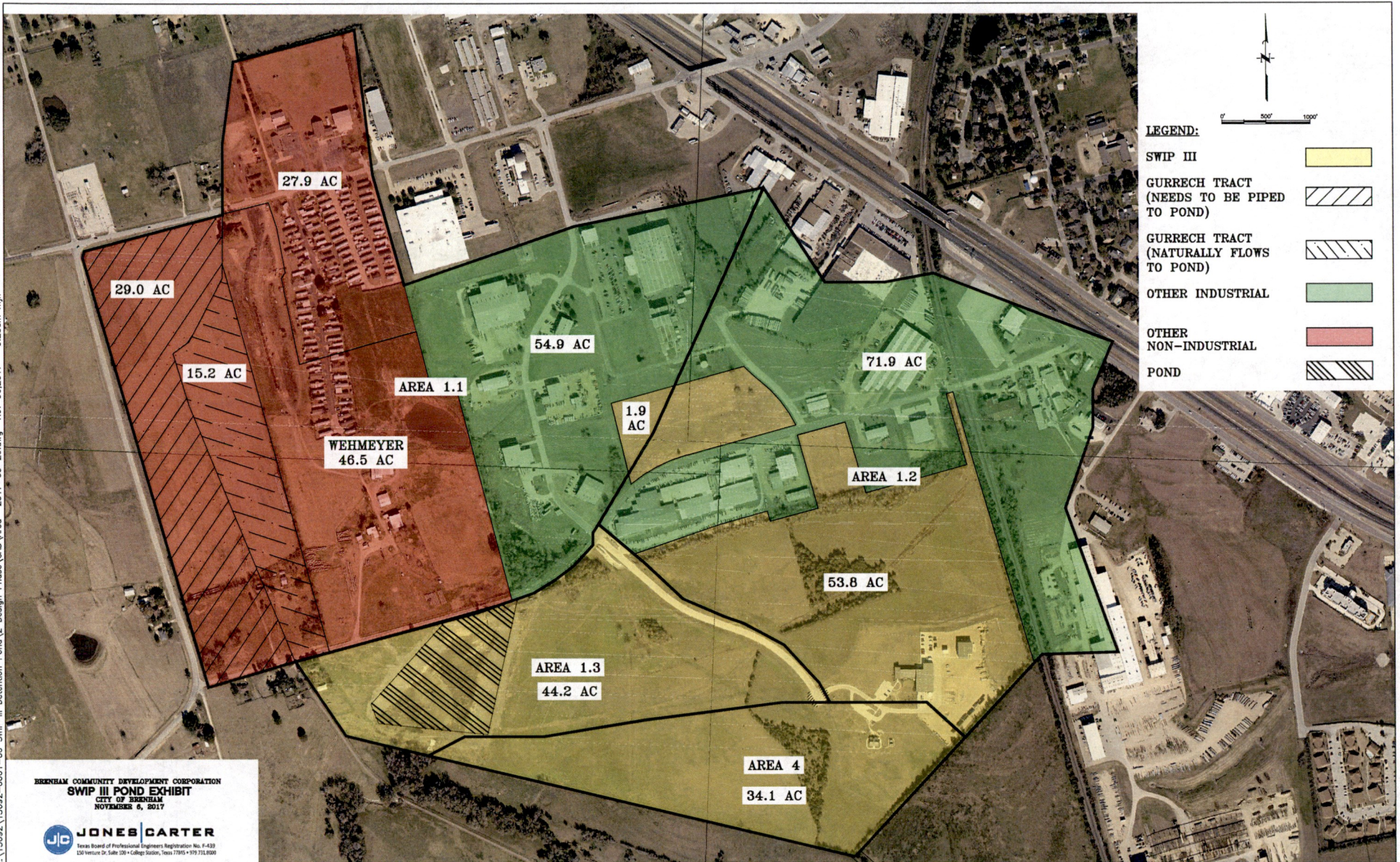
Proposed Detention Pond

JC designed the proposed detention pond to provide detention for the 135 acres of the SWIP3, the 44.2 acres of the Gurrech tract and 20 additional acres within the industrial areas within the watershed. It should be noted that storm sewer improvements along Industrial Boulevard would be required to convey the storm runoff from the Gurrech Tract. The additional 20 acres would allow for the SWIP3 property owners to sell additional detention capacity and offset costs associated with the construction of the detention pond. This design does not change the existing outlet structure. The one issue that arises from this approach is that the capacity of the detention pond at the 100-year flood elevation is approximately 63 acre-feet. Anytime an impoundment exceeds 6 feet high and over 50 acre-feet it must meet the requirements of the Texas Commission on Environmental Quality (TCEQ) Dam Safety Program. The program requires a dam breach analysis, periodic inspections and an emergency action plan. The initial and ongoing costs to maintain compliance with the program may be cost prohibitive. The top of dam elevation would be 336.00 feet and the 100-year storm elevation would be 334.80 feet, leaving approximately 1.2 feet of freeboard.

Another option that was analyzed was to modify the outlet structure by lowering the existing weir structure by approximately 2 feet. This option will provide detention capacity for the 135 acres of SWIP3 as well as 10 additional acres outside of SWIP3. The 100-year storm capacity of this option would be slightly under 50 acre-feet, which would exempt the pond from the TCEQ Dam Safety Program. The 100-year storm elevation would be approximately 333.00, which would leave approximately 3 feet of freeboard from the top of dam. This option would allow the capacity of the pond to be increased later, but it would require compliance with the TCEQ Dam Safety Program. The 145 total acres of development served by the detention pond at 85% impervious coverage provides for 123 acres of actual impervious coverage. Another approach would be for the property owners to reduce the allowable impervious coverage which would allow more property to become eligible to be added. If the impervious coverage was lowered to 70%, then SWIP3, the Gurrech Tract and approximately 20 additional acreages of other industrial property could be added without exceed the 50-acre-foot limit.

This document was released for INTERIM REVIEW under the authority of Grant L. Lischka, PE #111545 on April 12, 2018. It is preliminary and informative in nature and is not to be used for construction, bidding or permitting purposes.

K:\15692\15692-0001-00 SWIP III Detention Pond\2 Design Phase\CAD Area- 2017-09-20.dwg Nov 06, 2017 - 9:28am mjh



BIRKENHAM COMMUNITY DEVELOPMENT CORPORATION
 SWIP III POND EXHIBIT
 CITY OF BIRKENHAM
 NOVEMBER 6, 2017


JONES CARTER
 Texas Board of Professional Engineers Registration No. F-439
 150 Venture Dr. Suite 100 • College Station, Texas 77905 • 979.771.8000



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Seidel Schroeder

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Jimmy Lawhorn
Blue Bell Creameries

Staff

Page Michel
President & CEO

Candi Eaton
Project Manager

MEMORANDUM

To: BCDC Board
From: Page Michel, EDF President
Subject: Q1 and Q2 EDF Activity Reports
Date: April 10, 2018

The EDF 1st and 2nd Quarter Activity Reports are attached for your review. Our staff will also provide an update on recent projects at the BCDC meeting scheduled for April 19th.

Please do not hesitate to contact the EDF office at 979-836-8927 or edf@brenhamtexas.com if you have any questions or comments regarding EDF programs and activities.



Activity Report

October 2017

Business Retention & Expansion Program:

- Held discussions with Del Sol Food Company executives about expansion and land acquisition
- Provided assistance to Kountry Boys Sausage for their expansion in the SWIP
- Attended the organizational meeting of the SWIP-III Detention Pond Owners Association
- Attended ribbon cutting ceremony for new location of PlanNorth Architectural Company
- Attended ribbon cutting ceremony for Christy Schlottman Farmers Insurance Agency

Marketing:

- Reviewed leads generated by Lead IQ and WEDA Texas Elite 25 programs
- Held meeting with MindEcology data/research firm to complete the Target Industries Study
- Sent out *Brenham Economic Development Update–October 2017* e-newsletter
- Property ads on LoopNet.com:
 - Brenham Business Center: 861 views
 - Southwest Industrial Park: 669 views
- BrenhamEDF.com website activity:
 - Visits: 539
 - Page Views: 1,360
 - Total Property Searches: 231
 - Most Popular Property: 1910 East Tom Green Street and 1500 South Day Street (5)
 - Total Business Searches: 82
 - Total Reports Generated: 7

Prospects & Development:

- Followed up with Project Dream regarding the price-reduction incentive for 50 acres
- Met with real estate broker and client for Project Camp regarding interest in industrial land purchase
- The former Artex building is being leased by another division of Valmont

EDA Grant-Tech Center Expansion Project:

- There are still final items on the construction contractors punch list
- We are accessing the Line of Credit to cover expenses until the project is closed out with the EDA
- Held a Workforce Training Needs survey follow up meeting with David Yeager; planning a December event to inform local businesses about training opportunities and funding availability

Education & Professional Networking:

- Attended the Texas Economic Development Council's annual conference in Houston
- Attended Legislative Wrap-Up Forum with Senator Kolkhorst at Blinn College
- Attended Governor's Small Business Forum hosted by Research Valley Partnership in College Station
- Attended webinar with IMPLAN, an economic data analytics firm
- Attended after-hours event at Brenham Clinic
- Met with Legislative Aide to Congressman McCaul at Blinn College

Administrative:

- Attended City Council meetings
- Facilitated City-EDF staff meeting
- Facilitated the bimonthly meeting of the Greater Brenham Alliance
- Held the annual meeting of the three Washington County Bonding Corporations
- Attended Main Street Board meeting
- Attended the Law Enforcement session of Leadership Washington County
- Continued to make updates to the EDF website



Activity Report

November 2017

Business Retention & Expansion Program:

- Attended ribbon cutting for DI Hydraulics, an expansion of DI Truck & Trailer Repair.
- Groundbreaking event held for Coldwell Banker Commercial new building on S. Day St.

Marketing:

- Attended ICSC Retail Deal-Making Conference in Dallas
- Participated in Retail Development Guidelines Workshop held by City
- Met with freelance writer to develop content for e-books on EDF website
- Property ads on LoopNet.com:
 - Brenham Business Center: 74 views
 - Southwest Industrial Park: 114 views
- BrenhamEDF.com website activity:
 - Visits: 20,093
 - Page Views (Home): 4,663
 - Total Property Searches: 310
 - Most Popular Property: 301 & 303 S St. Charles Street (9)
 - Total Business Searches: 1
 - Total Reports Generated: 0

Prospects & Development:

- Held meeting with hotel developer/site selector seeking a Brenham location.
- Gave annual report on Tax Phase-In Compliance at County Commissioners meeting
- Responded to 5 requests for business information

EDA Grant-Tech Center Expansion Project:

- Final walk-through with contractor and architect at new Tech Ed Annex
- Still accessing the Line of Credit to cover expenses until project is closed out with the EDA

Education & Professional Networking:

- Attended Legislative Wrap-Up Forum with State Rep. Leighton Schubert
- Attended networking breakfast at Brenham State Supported Living Center
- Attended Connect After 5 at Kruse Village

Administrative:

- Conducted the annual EDF Board election; held Ballot Counting meeting on November 16
- Attended City Council meetings
- Attended County Commissioner meetings
- Reported on EDF fourth quarter activity at BCDC meeting
- Attended Chamber Centennial Past Chairs Reception
- Facilitated City-EDF staff meeting
- Attended Main Street Board meeting



Activity Report

December 2017

Business Retention & Expansion Program:

- Visited with Del Sol Food Company president about expansion plans.
- Visited with ADS plant manager about future plans.

Marketing:

- Sent out *Brenham Economic Development Update–December 2017* e-newsletter
- Reviewed Atlas One website contract and requirements
- Updated LoopNet listings
- Updating property list on website
- Property ads on LoopNet.com:
 - Brenham Business Center: 17,614 views
 - Southwest Industrial Park: 18,142 views
- BrenhamEDF.com website activity:
 - Visits: 22,046
 - Page Views (Home): 5,551
 - Total Property Searches: 366
 - Most Popular Property: 210 S Market St (18)
 - Total Business Searches: 1
 - Total Reports Generated: 0

Prospects & Development:

- Project Media: Tax phase-in was approved by the City and County
- Presented to the City and County for the readoption of the Tax Phase-In Incentive Policy for 2018-2019
- Responded to 5 requests for business information, start-up, statistics, etc.

EDA Grant-Tech Center Expansion Project:

- There are still final items on the construction contractors punch list
- We are accessing the Line of Credit to cover expenses until the project is closed out with the EDA
- Held a Workforce Training Needs survey follow up meeting with David Yeager; planning a December event to inform local businesses about training opportunities and funding availability

Education & Professional Networking:

- Co-Hosted a Lunch & Learn Workshop at the Hodde Tech Center to assess Workforce Training Needs
- Attended Connect After 5 at Heritage Texas Properties
- Grand Opening of Kruse Recreation Center at Blinn College
- Met with new Field Director for US Congressman Michael McCaul

Administrative:

- Hired new Project Manager Candi Eaton; implemented orientation
- Attended City Council & County Commissioner meetings
- Held December EDF Board meeting with members of the Greater Brenham Alliance
- Attended Main Street Board meeting



Activity Report

January 2017

Business Retention & Expansion Program:

- Attended BR&E Training Course at IEDC Conference
- Toured the Brenham State Supported Living Center

Marketing:

- Added updated information and data on the EDF website
- Did an interview with Banner Press newspaper for annual Progress Edition article on the EDF
- Updated LinkedIn and Facebook to add Project Manager as Admin
- Updated LoopNet listings
- Created account with Texas Property Site for listings
- Property ads on LoopNet.com:
 - Brenham Business Center: 19,441 views
 - Southwest Industrial Park: 21,704 views
- BrenhamEDF.com website activity:
 - Visits: 17,806
 - Page Views (Home): 5,987
 - Total Property Searches: 299
 - Most Popular Property: 210 S Market St (15)
 - Total Reports Generated: 4

Prospects & Development:

- Assisted Project City Girl in the Tax Phase-In incentive application process
- Responded to 9 requests for business information, start-up, statistics, etc.

EDA Grant-Tech Center Expansion Project:

- A few items are still on the contractors punch list
- We are making interest payments on the Line of Credit until the final reimbursement arrives from EDA

Education & Professional Networking:

- Attended BR&E Training Course in Las Vegas
- Candi Eaton spoke at the January Rotary meeting on EDF
- Met with representatives from the LCRA to discuss their services provided for local development
- Attended Greater Houston Partnership Annual Meeting in Houston
- Co-hosted the Chamber/EDF Annual Banquet (EDF Annual Meeting)
- Attended Connect After 5 event at Bank of Brenham

Administrative:

- Attended City Council & County Commissioner meetings
- Facilitated the monthly City/EDF Staff meeting
- Held December EDF Board meeting with members of the Greater Brenham Alliance
- Attended Main Street Board meeting
- Attended Brenham ISD/Burton ISD Convocation
- Attended Terry Roberts retirement reception



Activity Report

February 2017

Business Retention & Expansion Program:

- Attended a BR&E training session at the TEDC Winter Conference in San Antonio.
- Attended Texas A&M RELLIS Advisory Council meeting on regional workforce development.
- Led the Economic Development session for Leadership Washington County that included tours of Wabtec/Longwood, Stanpac, Blue Bell and the Hodde Tech Center. There were 30 attendees.

Marketing:

- Added updated information and data on the EDF website
- Updated LinkedIn and Facebook to add new Project Manager as Admin
- Updated LoopNet listings
- Added industrial land to Governor's property site for listings
- Property ads on LoopNet.com:
 - Brenham Business Center: 11,441 views
 - Southwest Industrial Park: 10,281 views
- BrenhamEDF.com website activity:
 - Visits: 15,734
 - Page Views (Home): 4,800
 - Business Searches: 4
 - Total Property Searches: 234
 - Most Popular Property: 301 & 303 S St. Charles St (11)
 - Total Reports Generated: 2

Prospects & Development:

- Completed and submitted Project City Girl Tax Phase-In incentive application
- Held site visit with Project Cardinal and met with City of Brenham team to address location requirements
- Held meeting with Project Aviation to discuss their needs for site upgrades and potential incentives
- Responded to 6 requests for business information, start-up, statistics, etc.

EDA Grant-Tech Center Expansion Project:

- All items have been addressed on the contractors punch list
- Two legal documents are being prepared to provide to the EDA
- Interest payments continue to be made on the Line of Credit until the final reimbursement arrives from EDA

Education & Professional Networking:

- Attended TEDC Winter Conference in San Antonio
- Attended Bellville Chamber of Commerce Annual Banquet
- Attended Live2Lead leadership development seminar
- Toured the State Capitol in Austin with Leadership Washington County group
- Attended Bellville YPO at the Austin County Jail Museum
- Attended the Connect After 5 event at Select Furnishings
- Served as scholarship judge for Bluebonnet Electric's Government Youth Tour competition

Administrative:

- Attended City Council & County Commissioner meetings
- Attended Main Street Board meeting
- Gathered pricing for technology upgrades and projects to propose for 2018-19



Activity Report

March 2018

Business Retention & Expansion Program:

- 2nd annual State of the Community event held to provide local businesses with city/county/region updates.
- Held visit with Brazos Valley Brewing company owner to discuss current need for expansion space.
- Delivered thank you notes/gifts to Wabtec/Longwood, Stanpac, Blue Bell and Hodde Tech Center for hosting the tours for the Leadership Washington County group.
- Held meeting with SBA reps from UH to learn about seminars and services for local small businesses.

Marketing:

- Added updated information and data on the EDF website
- Created a showcase page on LinkedIn
- Updated EDF Property InSite to allow local Real Estate Agents access to add/maintain listings
- Updated LoopNet listings
- Added SWIP Property to CIMLS (working on BBC property)
- Subscribed to Entergy's Buildings & Sites to add property listings
- Property ads on LoopNet.com:
 - Brenham Business Center: 10,112 views
 - Southwest Industrial Park: 11,022 views
- BrenhamEDF.com website activity:
 - Visits: 16,428
 - Page Views (Home): 4,857
 - Business Searches: 1
 - Total Property Searches: 286
 - Most Popular Property: 210 S Market St.
 - Total Reports Generated: 0

Prospects & Development:

- Completed and submitted Project City Girl Tax Phase-In incentive package to the City and County
- Held site visit with Project Tank at two local sites including SWIP 8.5 acres
- Responded to 5 requests for business information, start-up, statistics, etc.

EDA Grant-Tech Center Expansion Project:

- Second legal documents is still in drafting stage for the EDA
- Interest payments continue to be made on the Line of Credit until the final reimbursement arrives from EDA

Education & Professional Networking:

- Attended IEDC Fed Forum in Washington DC
- Attended Lake Conroe Economic Development Summit
- Hosted State of the Community event at Blinn College
- Attended Chamber networking breakfast hosted at Boys & Girls Club
- Attended Connect After 5 event at Texas Home Health Group
- Participated in long-range planning focus group at Brenham Heritage Museum

Administrative:

- Attended City Council & County Commissioner meetings
- Attended Main Street Board meeting
- Met with City staff to collaborate on EDF contacts
- Gathered pricing for technology upgrades and projects to propose for 2018-19