



**NOTICE OF A REGULAR MEETING
BRENHAM PLANNING AND ZONING COMMISSION
TUESDAY, MAY 28, 2019 AT 5:15 P.M.
SECOND FLOOR CITY HALL
COUNCIL CHAMBERS
200 W. VULCAN
BRENHAM, TEXAS**

- 1. Call Meeting to Order**
- 2. Public Comments**
[At this time, anyone will be allowed to speak on any matter other than personnel matters or matters under litigation, for length of time not to exceed three minutes. No Board discussion or action may take place on a matter until such matter has been placed on an agenda and posted in accordance with law.]
- 3. Reports and Announcements**

CONSENT AGENDA

4. Statutory Consent Agenda

The Statutory Consent Agenda includes non-controversial and routine items that the Commission may act on with one single vote. A Commissioner may pull any item from the Consent Agenda in order that the Commission discuss and act upon it individually as part of the Regular Agenda.

4-a. Minutes from the April 22, 2019 Planning and Zoning Commission Meeting

REGULAR AGENDA

- 5. Discussion and Possible Action on Case No. P-19-014: Preliminary Plat of The Farm Houses of Pleasant Hill Subdivision, being 6.000 acres of land out of the John Carrington Survey, Abstract-120 in Washington County, Texas.**
- 6. Discussion and Possible Action on Case No. P-19-015: Final Plat of The Farm Houses of Pleasant Hill Subdivision, being 6.000 acres of land out of the John Carrington Survey, Abstract-120 in Washington County, Texas.**
- 7. Discussion and Possible Action on Case No. P-19-017: Preliminary Plat of the Market Square Brenham Subdivision, being 51.119 acres of land out of the John Long Survey, Abstract-156 in Brenham, Washington County, Texas.**
- 8. Discussion and Possible Action on Case No. P-19-018: Final Plat of the Market Square Brenham Subdivision, being 51.119 acres of land out of the John Long Survey, Abstract-156 in Brenham, Washington County, Texas.**
- 9. Discussion and Possible Action on Case No. P-19-019: A City Initiated Request to Amend Chapter 21 – Signs of the City of Brenham Code of Ordinance.**

10. **Public Hearing, Discussion and Possible Action on Case No. P-19-020: A City initiated request to amend the City of Brenham's Code of Ordinances Appendix A: Zoning, by amending Part II, Division 2, Section 3.02, Permitted Uses: (Nonresidential uses) – to allow signs for public facilities which are placed by a governmental entity or public institution of higher education as a permitted use in the B-1 Zoning District.**

11. **Adjourn**

CERTIFICATION

I certify that a copy of the May 28, 2019, agenda of items to be considered by the Planning & Zoning Commission was posted to the City Hall bulletin board at 200 W. Vulcan, Brenham, Texas on May 24, 2019, at 9:25 am.

Kim Hodde

Kim L. Hodde, Planning Technician

Disability Access Statement: This meeting is wheelchair accessible. The accessible entrance is located at the Vulcan Street entrance to the City Administration Building. Accessible parking spaces are located adjoining the entrance. Auxiliary aids and services are available upon request (interpreters for the deaf must be requested twenty-four (24) hours before the meeting) by calling (979) 337-7567 for assistance.

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed by me from the City Hall bulletin board on the _____ day of _____, 2019 at _____ am/pm.

Signature

Title

**CITY OF BRENHAM
PLANNING AND ZONING COMMISSION MINUTES
April 22, 2019**

The meeting minutes herein are a summarization of meeting procedures, not a verbatim transcription.

A regular meeting of the Brenham Planning and Zoning Commission was held on April 22, 2019 at 5:15 pm in the Brenham Municipal Building, City Council Chambers, at 200 West Vulcan Street, Brenham, Texas.

Commissioners present:

M. Keith Behrens, Chair
Deanna Alfred, Vice Chair
Leroy Jefferson
Nancy Low
Lynnette Sheffield
Marcus Wamble

Commissioners absent:

Calvin Kossie – out of town

Staff present:

Lori Sanguedolce, City Engineer/Director of Development Services
Kim Hodde, Planning Technician

Citizens present:

Donald W. Lampe
Pat Johnson (left when meeting started)

1. Call Meeting to Order

Chairman Behrens called the meeting to order at 5:16 pm with a quorum of six (6) Commissioners present.

2. Public Comments

There were no public comments.

3. Reports and Announcements

Lori Sanguedolce informed the Board that the Comprehensive Planning is moving ahead on schedule. The Board was reminded that there will be a Town Hall meeting on April 30, 2019 and joint City Council and Planning and Zoning Commission workshop on May 23, 2019.

CONSENT AGENDA

4. Statutory Consent Agenda

The Statutory Agenda includes non-controversial and routine items that the Commission may act on with one single vote. A Commissioner may pull any item from the Consent Agenda in order that the Commission discuss and act upon it individually as part of the Regular Agenda.

4-a. Minutes from the March 25, 2019 Planning and Zoning Commission Meeting

Chairman Behrens asked for any corrections or additions to the minutes as presented. A motion was made by Commissioner Low and seconded by Commissioner Alfred to approve the minutes from the March 25, 2019 meeting, as presented. The motion carried unanimously.

REGULAR MEETING

5. Discussion and Possible Action on Case No. P-19-008: Preliminary Plat of the Snyder Subdivision, being 4.577 acres of land out of the John Long Survey, Abstract-156 in Washington County, Texas.

Lori Sanguedolce presented the staff report for Case No. P-19-008 (on file in the Development Services Department). Staff has reviewed the plat and finds that it meets all applicable City ordinances and recommends approval.

A motion was made by Commissioner Alfred and seconded by Commissioner Low to approve the Preliminary Plat to form the Snyder Subdivision, as presented. The motion carried unanimously.

6. Discussion and Possible Action on Case No. P-19-009: Final Plat of the Snyder Subdivision, being 4.577 acres of land out of the John Long Survey, Abstract-156 in Washington County, Texas.

Lori Sanguedolce presented the staff report for Case No. P-19-009 (on file in the Development Services Department). Staff has reviewed the plat and finds that it meets all applicable City ordinances and recommends approval.

A motion was made by Commissioner Alfred and seconded by Commissioner Sheffield to approve the Final Plat to form the Snyder Subdivision, as presented. The motion carried unanimously.

7. Discussion and Possible Action on Case No. P-19-010: Preliminary Plat of the L. Bilski Subdivision, being 1.520 acres of land out of the James Walker Survey, Abstract-106 in Brenham, Washington County, Texas.

Lori Sanguedolce presented the staff report for Case No. P-19-010 (on file in the Development Services Department). Staff has reviewed the plat and finds that it meets all applicable City ordinances and recommends approval.

A motion was made by Commissioner Alfred and seconded by Commissioner Wamble to approve the Preliminary Plat to form the L. Bilski Subdivision, as presented. The motion carried unanimously.

8. Discussion and Possible Action on Case No. P-19-011: Final Plat of the L. Bilski Subdivision, being 1.520 acres of land out of the James Walker Survey, Abstract-106 in Brenham, Washington County, Texas.

Lori Sanguedolce presented the staff report for Case No. P-19-011 (on file in the Development Services Department). Staff has reviewed the plat and finds that it meets all applicable City ordinances and recommends approval.

A motion was made by Commissioner Sheffield and seconded by Commissioner Low to approve the Final Plat to form the L. Bilski Subdivision, as presented. The motion carried unanimously.

9. Discussion and Possible Action on Case No. P-19-012: Preliminary Plat of the Pahmiyer Subdivision, being 17.68 acres of land out of the Phillip Coe Survey, Abstract-31 in Brenham, Washington County, Texas.

Lori Sanguedolce presented the staff report for Case No. P-19-012 (on file in the Development Services Department). Staff has reviewed the plat and finds that it meets all applicable City ordinances and recommends approval.

A motion was made by Commissioner Wamble and seconded by Commissioner Low to approve the Preliminary Plat to form the Pahmiyer Subdivision, as presented. The motion carried unanimously.

10. Discussion and Possible Action on Case No. P-19-013: Final Plat of the Pahmiyer Subdivision, being 17.68 acres of land out of the Phillip Coe Survey, Abstract-31 in Brenham, Washington County, Texas.

Lori Sanguedolce presented the staff report for Case No. P-19-013 (on file in the Development Services Department). Staff has reviewed the plat and finds that it meets all applicable City ordinances and recommends approval.

A motion was made by Commissioner Alfred and seconded by Commissioner Sheffield to approve the Final Plat to form the Pahmiyer Subdivision, as presented. The motion carried unanimously.

11. Adjourn

A motion was made by Commissioner Sheffield and seconded by Commissioner Low to adjourn the meeting at 5:26 pm. The motion carried unanimously.

The City of Brenham appreciates the participation of our citizens, and the role of the Planning and Zoning Commissioners in this decision-making process.

Certification of Meeting Minutes:

_____	<u>M. Keith Behrens</u>	<u>May 28, 2019</u>
Planning and Zoning Commission	Chairman	Meeting Date
_____	<u>Kim Hodde</u>	<u>May 28, 2019</u>
Attest	Staff Secretary	Meeting Date



CASE P-19-014

PRELIMINARY PLAT: THE FARM HOUSES OF PLEASANT HILL SUBDIVISION

PLAT TITLE: The Farm Houses of Pleasant Hill Subdivision **CITY/ETJ:** ETJ

PLAT TYPE: Preliminary Plat

OWNER/APPLICANT: Nathan L. Meyer/Hodde & Hodde Land Surveying, Inc.

ADDRESS/LOCATION: Located southwest of the intersection of Pleasant Hill School Road and Highway 36 South.

LEGAL DESCRIPTION: Proposed Lots 1-4 in the Farm Houses of Pleasant Hill Subdivision, in Washington County, Texas

LOT AREA: 6.00 acres

ZONING DISTRICT/USE: Not applicable, located in the ETJ / undeveloped vacant land

REQUEST:

The subject 6.00 acres of land is located in the City of Brenham’s extraterritorial jurisdiction and is owned by Nathan L. Meyer. Mr. Meyer desires to divide this tract into four (4) residential lots, with each lot containing 1.50 acres of land.

STAFF ANALYSIS AND RECOMMENDATION:

The proposed preliminary plat includes the dedication of a 15-foot wide strip of land dedicated for future right-of-way widening of Pleasant Hill School Road and depicts building setback lines in relation to established property lines.

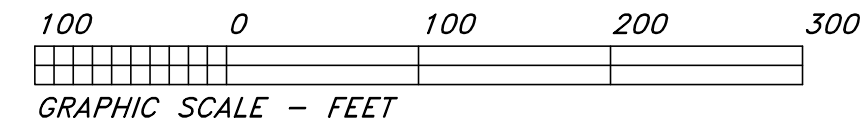
Development Services have reviewed this preliminary plat for compliance with applicable City of Brenham regulations and ordinances of the City of Brenham, Texas and **recommends approval** of this plat as presented.

EXHIBITS:

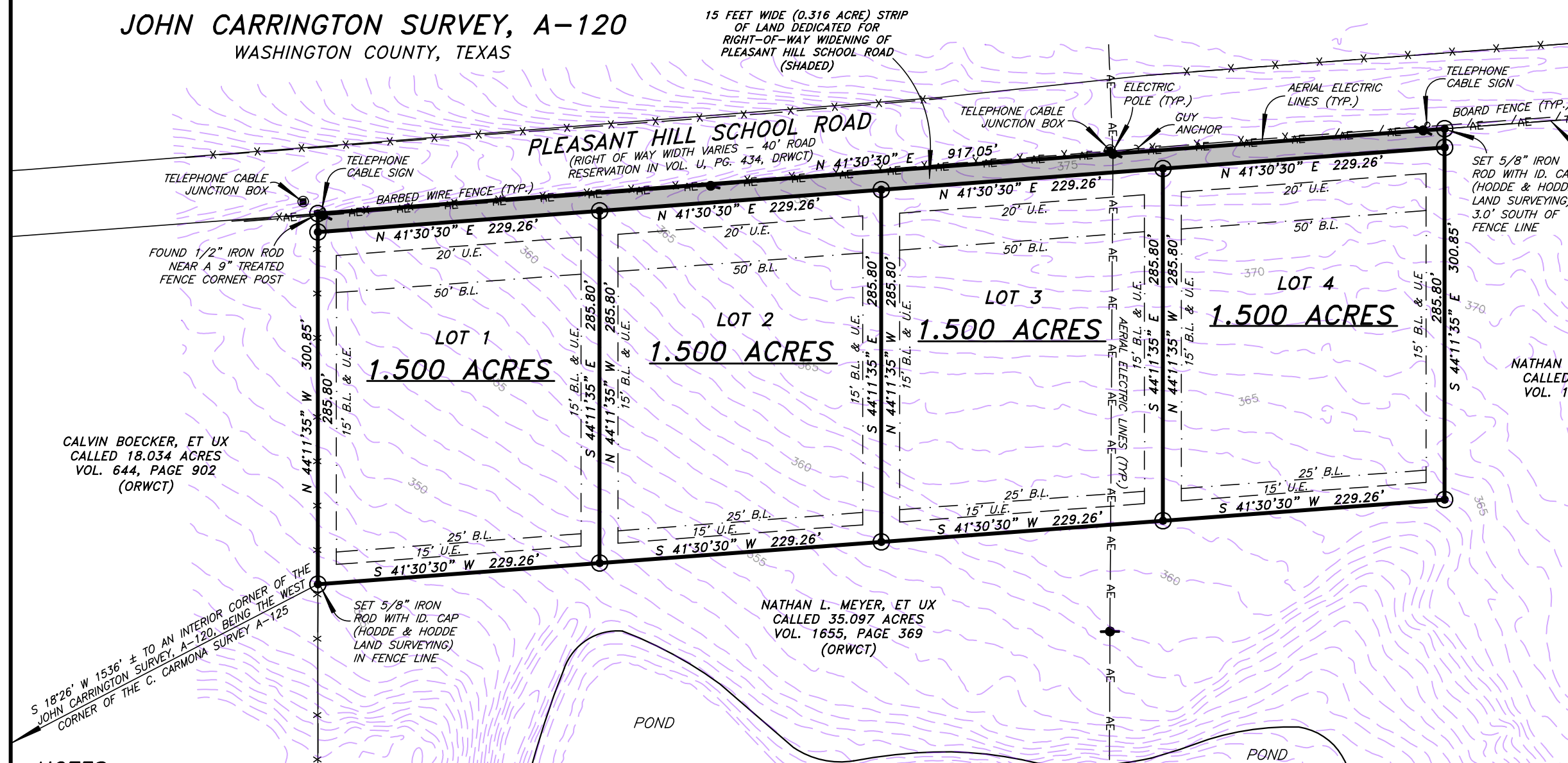
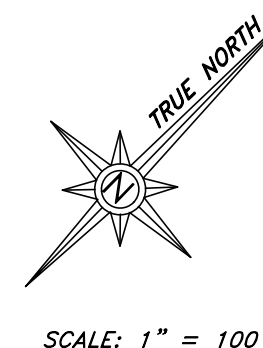
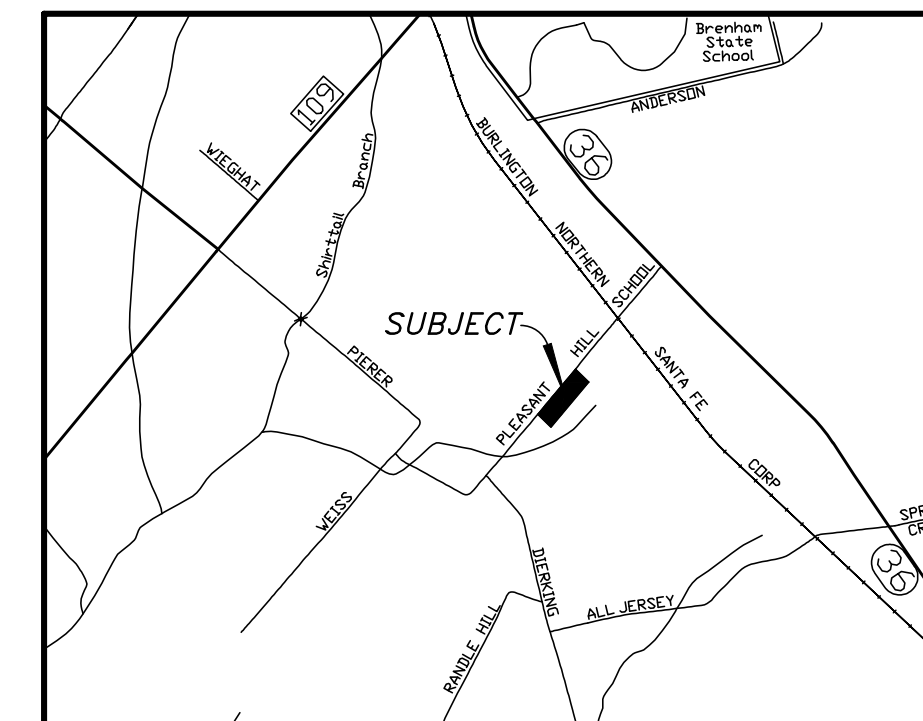
- A. Proposed Preliminary Plat

JOHN CARRINGTON SURVEY, A-120
WASHINGTON COUNTY, TEXAS

15 FEET WIDE (0.316 ACRE) STRIP OF LAND DEDICATED FOR RIGHT-OF-WAY WIDENING OF PLEASANT HILL SCHOOL ROAD (SHADED)



VICINITY MAP
(SCALE: 1" = 3000')



SUBJECT TO TEXAS POWER & LIGHT COMPANY EASEMENT AND RIGHT OF WAY VOL. 117, PAGE 1 (ORWCT) (SEE NOTE 7.)

NATHAN L. MEYER, ET UX CALLED 35.097 ACRES VOL. 1655, PAGE 369 (ORWCT)

CALVIN BOECKER, ET UX CALLED 18.034 ACRES VOL. 644, PAGE 902 (ORWCT)

NOTES:

- THE BEARINGS SHOWN HEREON ARE RELATIVE TO TRUE NORTH AS OBTAINED BY GPS OBSERVATIONS, OBSERVED AT LATITUDE: 30°06'42.99" N - LONGITUDE: 96°23'15.24" W (WGS-84).
- NO PART OF THE SUBJECT PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) AS COMPILED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, MAP NUMBER 4847700450C, EFFECTIVE DATE AUGUST 16, 2011, WASHINGTON COUNTY, TEXAS.
- ⊙ - DENOTES A 5/8" IRON ROD SET WITH ID. CAP STAMPED "HODDE & HODDE LAND SURVEYING" UNLESS OTHERWISE NOTED ON THE PLAT.
- THE SUBDIVISION SHOWN HEREON LIES OUTSIDE OF THE CITY LIMITS OF BRENHAM, TEXAS; HOWEVER, SAID SUBDIVISION IS LOCATED INSIDE THE CITY OF BRENHAM'S EXTRATERRITORIAL JURISDICTION (ETJ).
- THERE IS ALSO DEDICATED FOR UTILITIES AN UNOBSTRUCTED AERIAL EASEMENT FIVE (5) FEET WIDE FROM A PLANE TWENTY (20) FEET ABOVE THE GROUND UPWARD, LOCATED ADJACENT TO THE EASEMENTS SHOWN HEREON.
- THIS SURVEY WAS PERFORMED IN CONJUNCTION WITH WASHINGTON COUNTY ABSTRACT COMPANY (STEWART TITLE GUARANTY COMPANY) TITLE COMMITMENT G.F. NO. OR FILE NO. 181021, EFFECTIVE DATE OCTOBER 16, 2018 AT 8:00 AM, ISSUED NOVEMBER 1, 2018 AT 9:51 AM.
- SUBJECT TO EASEMENT AND RIGHT OF WAY DATED NOVEMBER 19, 1936, EXECUTED BY WM. APPEL AND WIFE, LOUISE APPEL TO TEXAS POWER & LIGHT COMPANY, RECORDED IN VOLUME 117, PAGE 1 IN THE DEED RECORDS OF WASHINGTON COUNTY, TEXAS. [NOT PLOTTABLE, NOTED HEREON]
- AS OF THE DATE OF PLATTING, THE CITY OF BRENHAM DOES NOT PROVIDE UTILITY SERVICES TO THE SUBDIVISION SHOWN HEREON. WATER WILL BE PROVIDED BY PRIVATE INDIVIDUAL WATER WELLS AND SEWER WILL BE PROVIDED BY INDIVIDUAL ON-SITE SEWAGE FACILITIES. ELECTRIC UTILITIES ARE PROVIDED BY OTHERS.
- ALL OIL/GAS PIPELINES OR PIPELINE EASEMENTS WITH OWNERSHIP THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
- ALL OIL/GAS WELLS WITH OWNERSHIP (PLUGGED, ABANDONED, AND/OR ACTIVE) THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
- NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED ACROSS ANY PIPELINES, BUILDING LINES, AND/OR EASEMENTS. BUILDING SETBACK LINES WILL BE REQUIRED ADJACENT TO OIL/GAS PIPELINES. THE SETBACKS AT A MINIMUM SHOULD BE 15 FEET OFF CENTERLINE OF LOW PRESSURE GAS LINES, AND 30 FEET OFF CENTERLINE OF HIGH PRESSURE GAS LINES.
- THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY VALID COVENANTS OR RESTRICTIONS.
- THE BUILDING LINES SHOWN ON THIS PLAT SHALL BE IN ADDITION TO, AND SHALL NOT LIMIT OR REPLACE, ANY BUILDING LINES REQUIRED BY THE CITY OF BRENHAM CODE OF ORDINANCES AT THE TIME OF THE DEVELOPMENT OF THE PROPERTY.
- CONTOURS SHOWN HEREON WERE DERIVED FROM LIDAR DATA AND PROVIDED BY OTHERS.
- (ORWCT) DENOTES DEED RECORDS OF WASHINGTON COUNTY, TEXAS
(ORWCT) DENOTES OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS
B.L. DENOTES BUILDING LINE
U.E. DENOTES UTILITY EASEMENT

CERTIFICATION

THE STATE OF TEXAS
COUNTY OF WASHINGTON

I, JON E. HODDE, REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 5197 OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS MAP SHOWING A SURVEY AND SUBDIVISION OF 6.316 ACRES OF LAND IS TRUE AND CORRECT IN ACCORDANCE WITH AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY PERSONAL DIRECTION AND SUPERVISION.
DATED THIS THE 9TH DAY OF MAY, 2019, A.D.

(PRELIMINARY)
JON E. HODDE, RPLS NO. 5197
DATE: MAY 9, 2019

THE PURPOSE OF THIS DOCUMENT IS FOR PRELIMINARY REVIEW ONLY.
PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

(PRELIMINARY)
JON E. HODDE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5197
HODDE & HODDE LAND SURVEYING, INC.
613 EAST BLUE BELL ROAD
BREHMAN, TEXAS 77833
(979)-836-5681
TEXAS FIRM REGISTRATION NO. 10018800

SURVEY MAP

SHOWING A SURVEY OF A SUBDIVISION OF 6.316 ACRES OF LAND, LYING AND BEING SITUATED IN WASHINGTON COUNTY, TEXAS, PART OF THE JOHN CARRINGTON SURVEY, A-120, BEING PART OF THE SAME LAND DESCRIBED AS 35.097 ACRES IN THE DEED FROM DONALD AHRENS AND SPOUSE, FLORENCE ROSE AHRENS TO NATHAN L. MEYER AND SPOUSE, PAIGE N. MEYER, DATED NOVEMBER 16, 2018, AS RECORDED IN VOLUME 1655, PAGE 369, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS.

OWNER ACKNOWLEDGMENT

WE, NATHAN L. MEYER AND PAIGE N. MEYER THE OWNERS OF THE LAND DESCRIBED HEREON AND WHOSE NAMES ARE SUBSCRIBED HERETO, DO HEREBY ACKNOWLEDGE THE CHANGES TO SAID PROPERTY IN ACCORDANCE WITH THE PLAT SHOWN HEREON. THE PLATTED PROPERTY REMAINS SUBJECT TO EXISTING DEDICATIONS, COVENANTS, RESTRICTIONS AND EASEMENTS EXCEPT AS SHOWN OR STATED HEREON.

NATHAN L. MEYER

PAIGE N. MEYER

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON
THE ____ DAY OF _____, 2019,
BY _____

NOTARY PUBLIC, STATE OF TEXAS
(SEAL)

LIENHOLDERS' ACKNOWLEDGMENT AND SUBORDINATION STATEMENT

WE, FIRST UNITED BANK & TRUST COMPANY, THE OWNERS AND HOLDERS OF A LIEN AGAINST THE PROPERTY DESCRIBED AS 35.097 ACRES IN THE DEED OF TRUST, DATED NOVEMBER 16, 2018, AS RECORDED IN VOLUME 1655, PAGE 375, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS, DO HEREBY IN ALL THING SUBORDINATE TO SAID PLAT OF WASHINGTON COUNTY, TEXAS. SAID LIEN AND WE HEREBY CONFIRM THAT WE ARE THE PRESENT OWNER OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

BY: _____
(SIGNATURE)

(PRINTED NAME & TITLE)

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF _____
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON
THE ____ DAY OF _____, 2019,
BY _____

NOTARY PUBLIC, STATE OF TEXAS
(SEAL)

COUNTY CLERK FILING ACKNOWLEDGMENT STATEMENT

THE STATE OF TEXAS §
COUNTY OF WASHINGTON §

I, _____, CLERK OF THE COUNTY COURT OF WASHINGTON COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK ____M., AND DULY RECORDED ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK ____M. IN CABINET _____ SHEET _____ OF RECORD IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT BREHMAN, WASHINGTON COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

CLERK OF THE COUNTY COURT
WASHINGTON COUNTY, TEXAS

OWNER/DEVELOPER
NATHAN MEYER
351 PLEASANT HILL SCHOOL ROAD
BREHMAN, TEXAS 77833
PHN. 830-261-1207

**SHEET 1
OF 1**

**PRELIMINARY PLAT OF THE FARM HOUSES
OF PLEASANT HILL SUBDIVISION
CITY OF BREHMAN (ETJ), WASHINGTON COUNTY, TEXAS**
CONSISTING OF 4 RESIDENTIAL LOTS CONTAINING 6.000 ACRES AND A 0.316 ACRE STRIP DEDICATED FOR ROAD RIGHT OF WAY WIDENING (6.316 ACRES TOTAL)
DATE: MAY 2019

W.O. NO. 7491 (MEYER7465.DWG/VIEW) REF: MEYER7465.SURVEY
Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road . Brenham, Texas 77833
979-836-5681 . 979-836-5683 (Fax)
www.hoddesurveying.com



CASE P-19-015

FINAL PLAT: THE FARM HOUSES OF PLEASANT HILL SUBDIVISION

PLAT TITLE: The Farm Houses of Pleasant Hill Subdivision **CITY/ETJ:** ETJ

PLAT TYPE: Final Plat

OWNER/APPLICANT: Nathan L. Meyer/Hodde & Hodde Land Surveying, Inc.

ADDRESS/LOCATION: Located southwest of the intersection of Pleasant Hill School Road and Highway 36 South.

LEGAL DESCRIPTION: Proposed Lots 1-4 in the Farm Houses of Pleasant Hill Subdivision, in Washington County, Texas

LOT AREA: 6.00 acres

**ZONING DISTRICT/
USE:** Not applicable, located in the ETJ / undeveloped vacant land

REQUEST:

The subject 6.00 acres of land is located in the City of Brenham’s extraterritorial jurisdiction and is owned by Nathan L. Meyer. Mr. Meyer desires to divide this tract into four (4) residential lots, with each lot containing 1.50 acres of land.

STAFF ANALYSIS AND RECOMMENDATION:

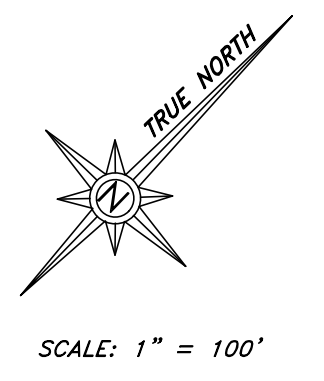
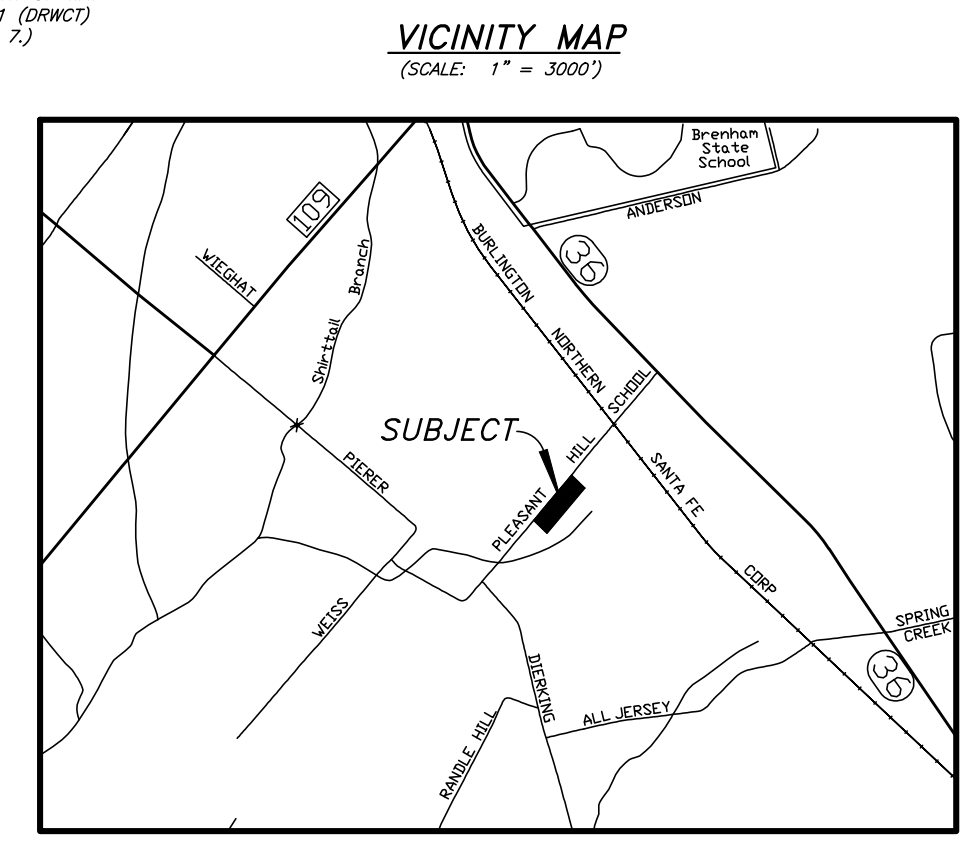
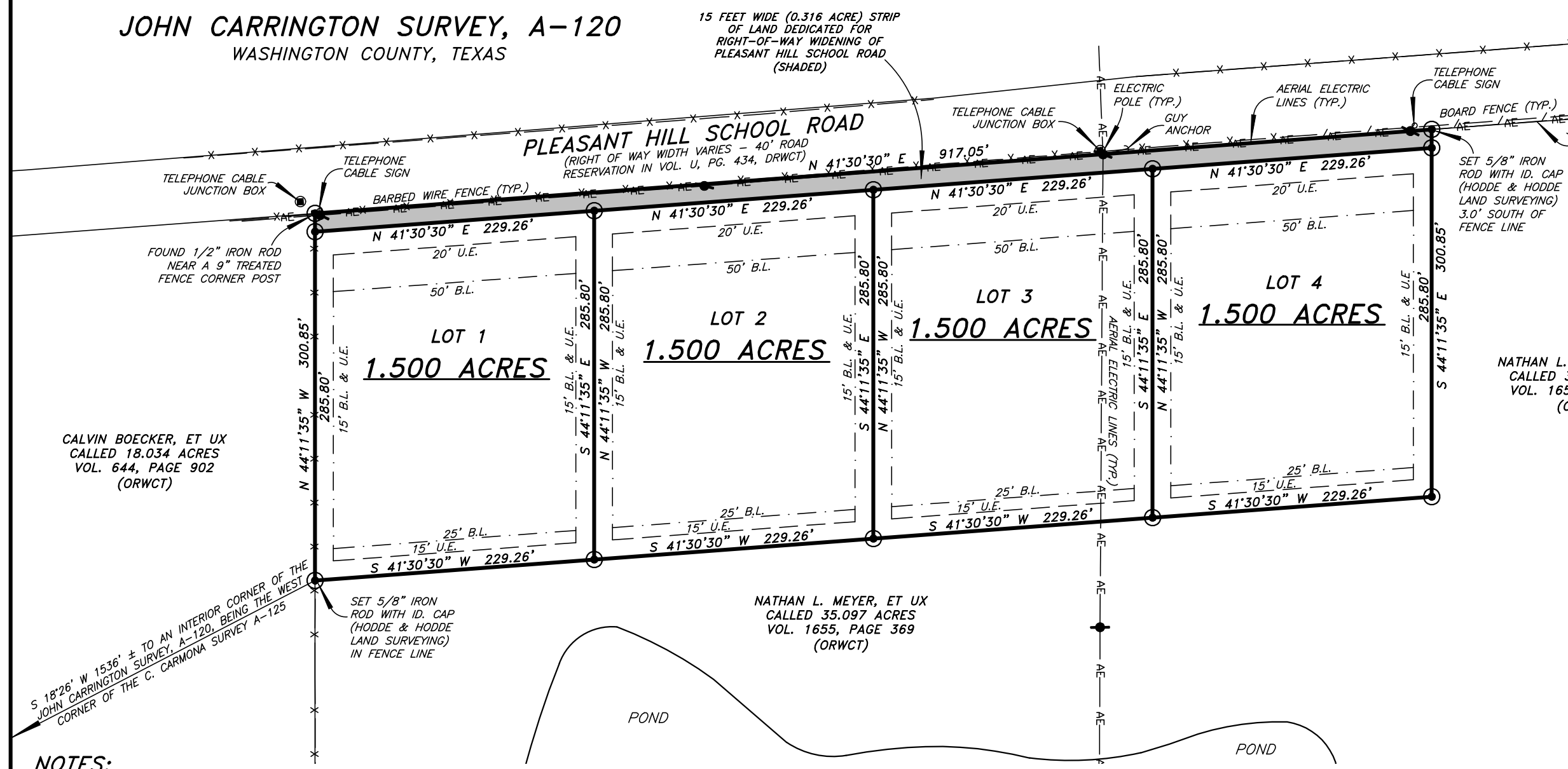
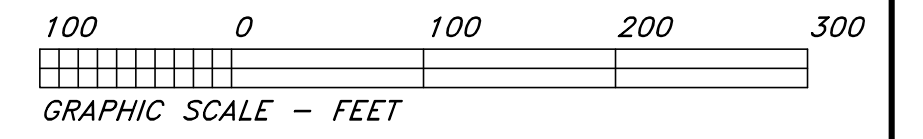
The proposed final plat includes the dedication of a 15-foot wide strip of land dedicated for future right-of-way widening of Pleasant Hill School Road and depicts building setback lines in relation to established property lines.

Development Services have reviewed this final plat for compliance with applicable City of Brenham regulations and ordinances of the City of Brenham, Texas and **recommends approval** of this plat as presented.

EXHIBITS:

- A. Proposed Final Plat

JOHN CARRINGTON SURVEY, A-120
WASHINGTON COUNTY, TEXAS



CALVIN BOECKER, ET UX
CALLED 18.034 ACRES
VOL. 644, PAGE 902
(ORWCT)

NATHAN L. MEYER, ET UX
CALLED 35.097 ACRES
VOL. 1655, PAGE 369
(ORWCT)

NATHAN L. MEYER, ET UX
CALLED 35.097 ACRES
VOL. 1655, PAGE 369
(ORWCT)

NOTES:

1. THE BEARINGS SHOWN HEREON ARE RELATIVE TO TRUE NORTH AS OBTAINED BY GPS OBSERVATIONS, OBSERVED AT LATITUDE: 30°06'42.99" N - LONGITUDE: 96°23'15.24" W (WGS-84).
2. NO PART OF THE SUBJECT PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) AS COMPILED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, MAP NUMBER 4847700450C, EFFECTIVE DATE AUGUST 16, 2011, WASHINGTON COUNTY, TEXAS.
3. (S) - DENOTES A 5/8" IRON ROD SET WITH ID. CAP STAMPED "HODDE & HODDE LAND SURVEYING" UNLESS OTHERWISE NOTED ON THE PLAT.
4. THE SUBDIVISION SHOWN HEREON LIES OUTSIDE OF THE CITY LIMITS OF BRENHAM, TEXAS; HOWEVER, SAID SUBDIVISION IS LOCATED INSIDE THE CITY OF BRENHAM'S EXTRATERRITORIAL JURISDICTION (ETJ).
5. THERE IS ALSO DEDICATED FOR UTILITIES AN UNOBSTRUCTED AERIAL EASEMENT FIVE (5) FEET WIDE FROM A PLANE TWENTY (20) FEET ABOVE THE GROUND UPWARD, LOCATED ADJACENT TO THE EASEMENTS SHOWN HEREON.
6. THIS SURVEY WAS PERFORMED IN CONJUNCTION WITH WASHINGTON COUNTY ABSTRACT COMPANY (STEWART TITLE GUARANTY COMPANY) TITLE COMMITMENT G.F. NO. OR FILE NO. 181021, EFFECTIVE DATE OCTOBER 16, 2018 AT 8:00 AM, ISSUED NOVEMBER 1, 2018 AT 9:51 AM.
7. SUBJECT TO EASEMENT AND RIGHT OF WAY DATED NOVEMBER 19, 1936, EXECUTED BY WM. APPEL AND WIFE, LOUISE APPEL TO TEXAS POWER & LIGHT COMPANY, RECORDED IN VOLUME 117, PAGE 1 IN THE DEED RECORDS OF WASHINGTON COUNTY, TEXAS. [NOT PLOTTABLE, NOTED HEREON]
8. AS OF THE DATE OF PLATTING, THE CITY OF BRENHAM DOES NOT PROVIDE UTILITY SERVICES TO THE SUBDIVISION SHOWN HEREON. WATER WILL BE PROVIDED BY PRIVATE INDIVIDUAL WATER WELLS AND SEWER WILL BE PROVIDED BY INDIVIDUAL ON-SITE SEWAGE FACILITIES. ELECTRIC UTILITIES ARE PROVIDED BY OTHERS.
9. ALL OIL/GAS PIPELINES OR PIPELINE EASEMENTS WITH OWNERSHIP THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
10. ALL OIL/GAS WELLS WITH OWNERSHIP (PLUGGED, ABANDONED, AND/OR ACTIVE) THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
11. NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED ACROSS ANY PIPELINES, BUILDING LINES, AND/OR EASEMENTS. BUILDING SETBACK LINES WILL BE REQUIRED ADJACENT TO OIL/GAS PIPELINES. THE SETBACKS AT A MINIMUM SHOULD BE 15 FEET OFF CENTERLINE OF LOW PRESSURE GAS LINES, AND 30 FEET OFF CENTERLINE OF HIGH PRESSURE GAS LINES.
12. THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY VALID COVENANTS OR RESTRICTIONS.
13. THE BUILDING LINES SHOWN ON THIS PLAT SHALL BE IN ADDITION TO, AND SHALL NOT LIMIT OR REPLACE, ANY BUILDING LINES REQUIRED BY THE CITY OF BRENHAM CODE OF ORDINANCES AT THE TIME OF THE DEVELOPMENT OF THE PROPERTY.
14. CONTOURS SHOWN HEREON WERE DERIVED FROM LIDAR DATA AND PROVIDED BY OTHERS.
15. (ORWCT) DENOTES DEED RECORDS OF WASHINGTON COUNTY, TEXAS
(ORWCT) DENOTES OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS
B.L. DENOTES BUILDING LINE
U.E. DENOTES UTILITY EASEMENT

CERTIFICATION

THE STATE OF TEXAS
COUNTY OF WASHINGTON

I, JON E. HODDE, REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 5197 OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS MAP SHOWING A SURVEY AND SUBDIVISION OF 6.316 ACRES OF LAND IS TRUE AND CORRECT IN ACCORDANCE WITH AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY PERSONAL DIRECTION AND SUPERVISION.
DATED THIS THE 9TH DAY OF MAY, 2019, A.D.

JON E. HODDE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5197
HODDE & HODDE LAND SURVEYING, INC.
613 EAST BLUE BELL ROAD
BREHMAN, TEXAS 77833
(979)-836-5681
TEXAS FIRM REGISTRATION NO. 10018800

SURVEY MAP

SHOWING A SURVEY OF A SUBDIVISION OF 6.316 ACRES OF LAND, LYING AND BEING SITUATED IN WASHINGTON COUNTY, TEXAS, PART OF THE JOHN CARRINGTON SURVEY, A-120, BEING PART OF THE SAME LAND DESCRIBED AS 35.097 ACRES IN THE DEED FROM DONALD AHRENS AND SPOUSE, FLORENCE ROSE AHRENS TO NATHAN L. MEYER AND SPOUSE, PAIGE N. MEYER, DATED NOVEMBER 16, 2018, AS RECORDED IN VOLUME 1655, PAGE 369, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS.

OWNER ACKNOWLEDGMENT

WE, NATHAN L. MEYER AND PAIGE N. MEYER THE OWNERS OF THE LAND DESCRIBED HEREON AND WHOSE NAMES ARE SUBSCRIBED HERETO, DO HEREBY ACKNOWLEDGE THE CHANGES TO SAID PROPERTY IN ACCORDANCE WITH THE PLAT SHOWN HEREON. THE PLATTED PROPERTY REMAINS SUBJECT TO EXISTING DEDICATIONS, COVENANTS, RESTRICTIONS AND EASEMENTS EXCEPT AS SHOWN OR STATED HEREON.

NATHAN L. MEYER

PAIGE N. MEYER

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON
THE ____ DAY OF _____, 2019,
BY _____

NOTARY PUBLIC, STATE OF TEXAS
(SEAL)

LIENHOLDERS' ACKNOWLEDGMENT AND SUBORDINATION STATEMENT

WE, FIRST UNITED BANK & TRUST COMPANY, THE OWNERS AND HOLDERS OF A LIEN AGAINST THE PROPERTY DESCRIBED AS 35.097 ACRES IN THE DEED OF TRUST, DATED NOVEMBER 16, 2018, AS RECORDED IN VOLUME 1655, PAGE 375, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS, DO HEREBY IN ALL THING SUBORDINATE TO SAID PLAT OF WASHINGTON COUNTY, TEXAS. SAID LIEN AND WE HEREBY CONFIRM THAT WE ARE THE PRESENT OWNER OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

BY: _____
(SIGNATURE)

(PRINTED NAME & TITLE)

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF _____
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON
THE ____ DAY OF _____, 2019,
BY _____

NOTARY PUBLIC, STATE OF TEXAS
(SEAL)

COUNTY CLERK FILING ACKNOWLEDGMENT STATEMENT

THE STATE OF TEXAS §
COUNTY OF WASHINGTON §
I, _____, CLERK OF THE COUNTY COURT OF WASHINGTON COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK ____M., AND DULY RECORDED ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK ____M. IN CABINET _____ SHEET _____ OF RECORD IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT BREHMAN, WASHINGTON COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

CLERK OF THE COUNTY COURT
WASHINGTON COUNTY, TEXAS

W.O. NO. 7491 (MEYER7465.DWG/VIEW) REF: MEYER7465.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road · Brenham, Texas 77833
979-836-5681 · 979-836-5683 (Fax)
www.hoddesurveying.com

**FINAL PLAT OF THE FARM HOUSES
OF PLEASANT HILL SUBDIVISION
CITY OF BREHMAN (ETJ), WASHINGTON COUNTY, TEXAS**
CONSISTING OF 4 RESIDENTIAL LOTS CONTAINING 6.000 ACRES AND A 0.316 ACRE STRIP DEDICATED FOR ROAD RIGHT OF WAY WIDENING (6.316 ACRES TOTAL)
DATE: MAY 2019

OWNER/DEVELOPER
NATHAN MEYER
351 PLEASANT HILL SCHOOL ROAD
BREHMAN, TEXAS 77833
PHN. 830-261-1207

**SHEET 1
OF 1**



CASE P-19-017
PRELIMINARY PLAT: MARKET SQUARE BRENHAM SUBDIVISION

PLAT TITLE: Market Square Brenham Subdivision **CITY/ETJ:** City

PLAT TYPE: Preliminary Plat

OWNER/APPLICANT: Brenham Market Square LP/Hodde & Hodde Land Surveying, Inc.

ADDRESS/LOCATION: 2410 S. Market Street, located at the intersection of US Highway 290 E, Cantey Street and South Market Street.

LEGAL DESCRIPTION: Proposed Lots 1-2 in the Market Square Brenham Subdivision, in Brenham, Washington County, Texas

LOT AREA: 51.119 acres

**ZONING DISTRICT/
USE:** B-2 Commercial Research and Technology District / undeveloped vacant land

**COMP PLAN
FUTURE LAND USE:** Multiple-Family Residential

REQUEST:

The subject 51.119 acres of land is owned by Brenham Market Square, LP. Paul Leventis, on behalf of Brenham Market Square, LP desires to divide this tract into two (2) lots to begin development of this tract of land. Proposed Lot 1 will contain 1.70 acres of land and proposed Lot 2 will contain 49.419 acres of land.

STAFF ANALYSIS AND RECOMMENDATION:

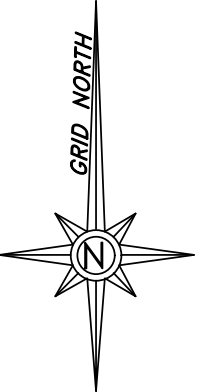
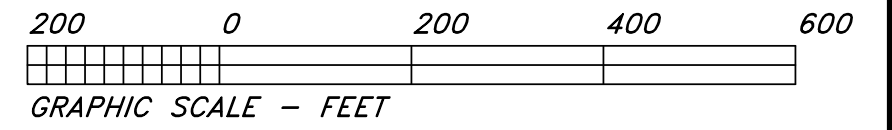
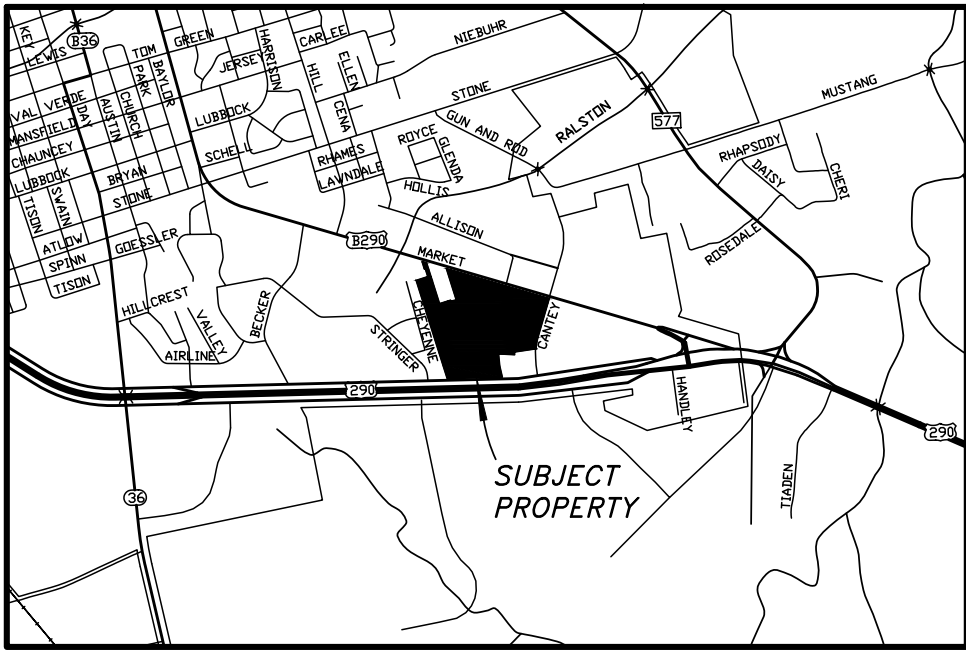
The proposed preliminary plat includes the location of easements and building setback lines in relation to established property lines.

Development Services have reviewed this preliminary plat for compliance with applicable City of Brenham regulations and ordinances of the City of Brenham, Texas and **recommends approval** of this plat as presented.

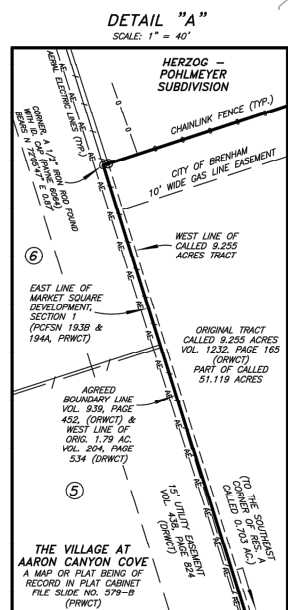
EXHIBITS:

- A. Proposed Preliminary Plat

VICINITY MAP
(SCALE: 1" = 3000')



SCALE: 1" = 200'



LEGEND

- CORNER MONUMENT (AS NOTED)
- ▲ ELECTRIC POLE
- ELECTRIC METER POLE
- GUY WIRE
- ⊕ TELEPHONE MANHOLE
- ⊙ PHONE CABLE JUNCTION BOX
- ⊙ MANHOLE
- ⊙ SEWER CEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- SIGN
- AE— AERIAL ELECTRIC LINES
- T— TELEPHONE LINES
- FD— FIBER OPTIC CABLES
- SS— SANITARY SEWER LINES
- STM— STORM SEWER LINES
- W— WATER LINES
- GAS— GAS LINES
- BOUNDARY LINES
- DEED LINES/ORIGINAL LOT LINES
- EASEMENT LINES
- BUILDING LINES

OVERALL LAYOUT

LINE TABLE

NUM	BEARING	DISTANCE
L1	S 3°08'24" E	43.41'
L2	S 74°47'56" W	14.92'
L3	S 73°42'29" E	72.12'
L4	S 18°12'09" E	16.52'
L5	N 76°28'27" E	86.98'

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	12°56'43"	187.53'	830.00'	S 9°43'34" W	187.13'
C2	14°18'06"	192.20'	770.00'	S 5°41'55" E	191.70'

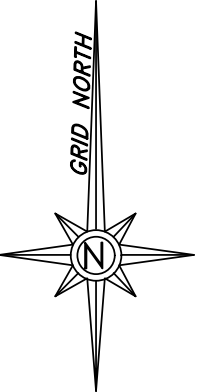
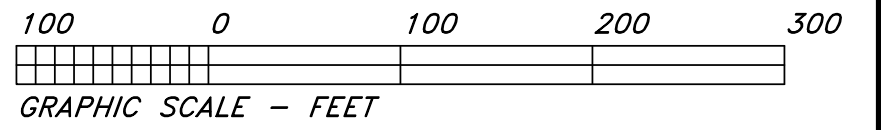
**PRELIMINARY PLAT OF
MARKET SQUARE
BRENHAM SUBDIVISION
CITY OF BRENHAM,
WASHINGTON COUNTY, TEXAS**

CONSISTING OF 2 LOTS
CONTAINING 51.119 ACRES
DATE: MAY 2019

**SHEET 1
OF 4**

W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road · Brenham, Texas 77833
979-836-5681 · 979-836-5683 (Fax)
www.hoddesurveying.com



SCALE: 1" = 100'

LEGEND

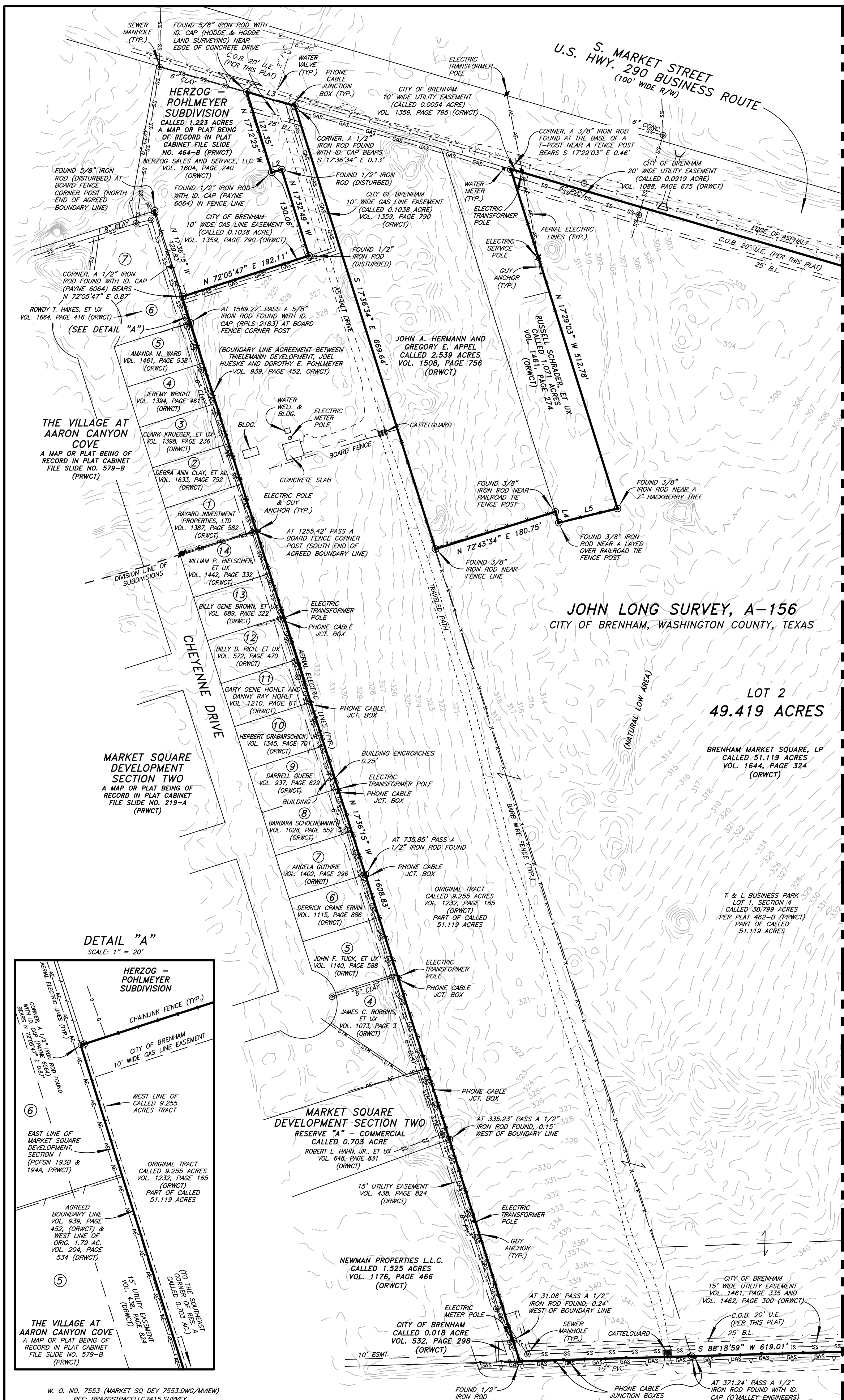
- ⊙ CORNER MONUMENT (AS NOTED)
- ⚡ ELECTRIC POLE
- ELECTRIC METER POLE
- GUY WIRE
- Ⓜ TELEPHONE MANHOLE
- Ⓜ PHONE CABLE JUNCTION BOX
- Ⓜ MANHOLE
- SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SIGN
- AE — AERIAL ELECTRIC LINES
- T — TELEPHONE LINES
- FD — FIBER OPTIC CABLES
- SS — SANITARY SEWER LINES
- STM — STORM SEWER LINES
- W — WATER LINES
- GAS — GAS LINES
- BOUNDARY LINES
- DEED LINES/ORIGINAL LOT LINES
- EASEMENT LINES
- BUILDING LINES

LINE TABLE

NUM	BEARING	DISTANCE
L1	S 3°08'24" E	43.41'
L2	S 74°47'56" W	14.92'
L3	S 73°42'29" E	72.12'
L4	S 18°12'09" E	16.52'
L5	N 76°28'27" E	86.98'

CURVE TABLE

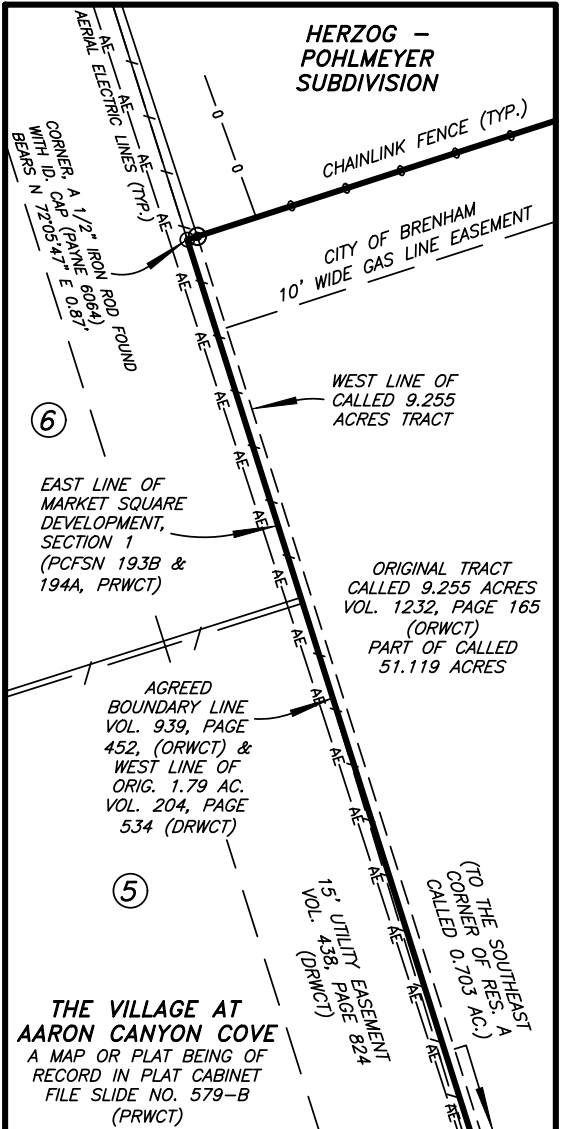
NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	12°56'43"	187.53'	830.00'	S 9°43'34" W	187.13'
C2	14°18'06"	192.20'	770.00'	S 5°41'55" E	191.70'



THE VILLAGE AT AARON CANYON COVE
A MAP OR PLAT BEING OF RECORD IN PLAT CABINET FILE SLIDE NO. 579-B (PRWCT)

MARKET SQUARE DEVELOPMENT SECTION TWO
A MAP OR PLAT BEING OF RECORD IN PLAT CABINET FILE SLIDE NO. 219-A (PRWCT)

DETAIL "A"
SCALE: 1" = 20'



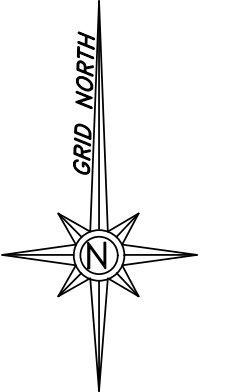
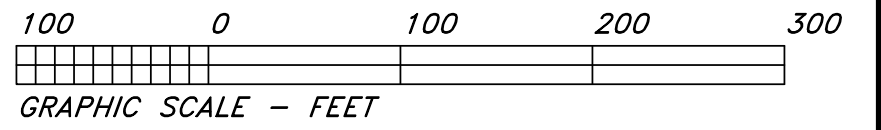
W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road · Brenham, Texas 77833
979-836-5681 · 979-836-5683 (Fax)
www.hoddesurveying.com

PRELIMINARY PLAT OF MARKET SQUARE BRENHAM SUBDIVISION
CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS

CONSISTING OF 2 LOTS
CONTAINING 51.119 ACRES
DATE: MAY 2019

SHEET 2 OF 4



SCALE: 1" = 100'

LEGEND

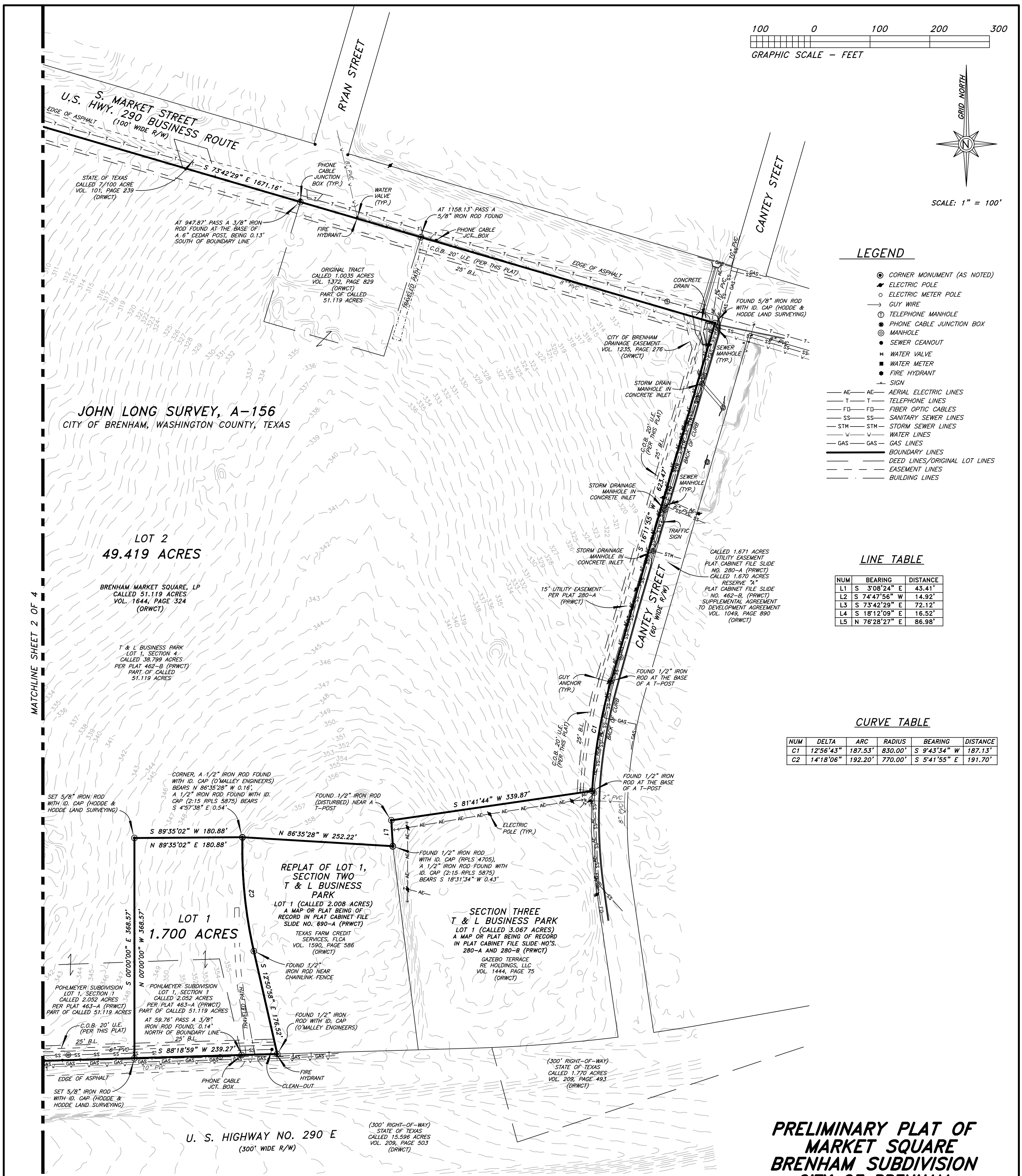
- ⊙ CORNER MONUMENT (AS NOTED)
- ⚡ ELECTRIC POLE
- ELECTRIC METER POLE
- GUY WIRE
- Ⓜ TELEPHONE MANHOLE
- Ⓜ PHONE CABLE JUNCTION BOX
- ⊙ MANHOLE
- SEWER CLEANOUT
- ⚡ WATER VALVE
- Ⓜ WATER METER
- FIRE HYDRANT
- SIGN
- AE — AERIAL ELECTRIC LINES
- T — TELEPHONE LINES
- FO — FIBER OPTIC CABLES
- SS — SANITARY SEWER LINES
- STM — STORM SEWER LINES
- W — WATER LINES
- GAS — GAS LINES
- — — BOUNDARY LINES
- — — DEED LINES/ORIGINAL LOT LINES
- — — EASEMENT LINES
- — — BUILDING LINES

LINE TABLE

NUM	BEARING	DISTANCE
L1	S 3°08'24" E	43.41'
L2	S 74°47'56" W	14.92'
L3	S 73°42'29" E	72.12'
L4	S 18°12'09" E	16.52'
L5	N 76°28'27" E	86.98'

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	12°56'43"	187.53'	830.00'	S 9°43'34" W	187.13'
C2	14°18'06"	192.20'	770.00'	S 5°41'55" E	191.70'



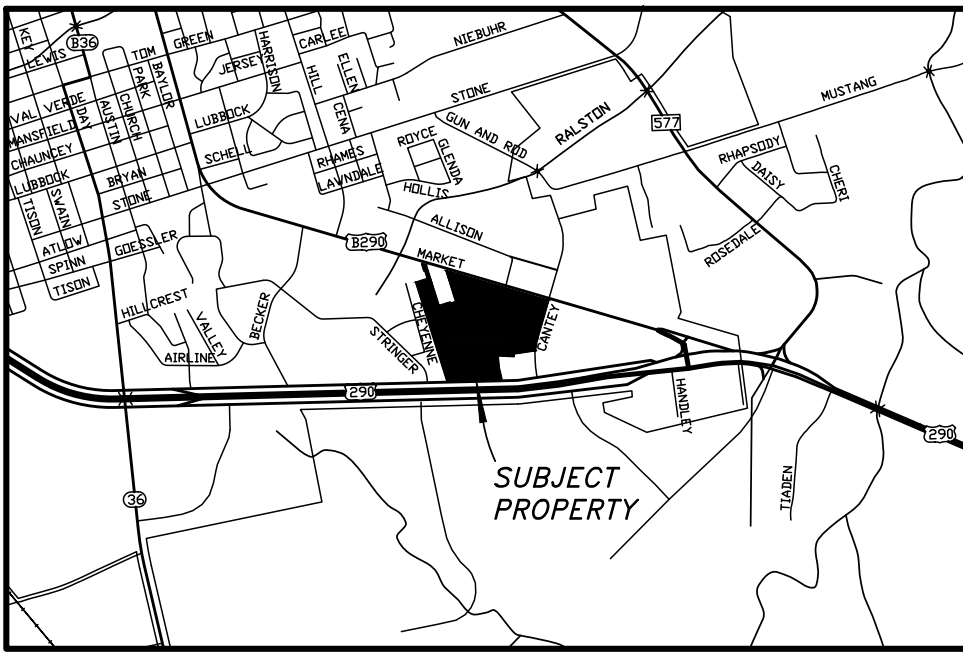
**PRELIMINARY PLAT OF
MARKET SQUARE
BRENHAM SUBDIVISION
CITY OF BRENHAM,
WASHINGTON COUNTY, TEXAS**

CONSISTING OF 2 LOTS
CONTAINING 51.119 ACRES
DATE: MAY 2019

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road . Brenham, Texas 77833
979-836-5681 . 979-836-5683 (Fax)
www.hoddesurveying.com

W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

VICINITY MAP
(SCALE: 1" = 3000')



NOTES:

1. THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE TEXAS STATE PLANE GRID SYSTEM, NAD-83 {2011}, CENTRAL ZONE 4203. CONVERGENCE ANGLE AT N: 10037905.626' - E: 3544925.146' IS 2'-02'-04.23", COMBINED SCALE FACTOR IS 0.99998033, U.S. SURVEY FEET, UTILIZING TXDOT CONTROL MONUMENTS FOR U.S. HWY. 290. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
2. NO PART OF THE SUBJECT PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) AS COMPILED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, MAP NUMBERS 48477C0295C AND 48477C0315C, EFFECTIVE DATE AUGUST 16, 2011, CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS.
3. © - DENOTES A 5/8" IRON ROD FOUND WITH ID. CAP STAMPED "HODDE & HODDE LAND SURVEYING" UNLESS OTHERWISE NOTED ON THE PLAT.
4. THIS SURVEY WAS PERFORMED IN CONJUNCTION WITH AGGIELAND TITLE COMPANY TITLE EXAMINER'S REPORT GF NO. 36558, EFFECTIVE DATE APRIL 26, 2019 AT 8:00 AM, PREPARATION DATE MAY 13, 2019.
5. SUBJECT TO RIGHT OF WAY GRANT DATED FEBRUARY 23, 1954, EXECUTED BY WILL KOLWES, SR. TO TEXAS SOUTHEASTERN GAS COMPANY RECORDED IN VOLUME 197, PAGE 455, DEED RECORDS OF WASHINGTON COUNTY, TEXAS. {NOT PLOTTABLE}.
6. SUBJECT TO RIGHT OF WAY DEED DATED FEBRUARY 11, 1929, EXECUTED BY WILL KOLWES TO M&M PIPE LINE COMPANY RECORDED IN VOLUME 95, PAGE 6, DEED RECORDS OF WASHINGTON COUNTY, TEXAS. {NOT DETERMINABLE FROM DESCRIPTION PROVIDED}.
7. THERE IS ALSO DEDICATED FOR UTILITIES AN UNOBSTRUCTED AERIAL EASEMENT FIVE (5) FEET WIDE FROM A PLANE TWENTY (20) FEET ABOVE THE GROUND UPWARD, LOCATED ADJACENT TO THE EASEMENTS SHOWN HEREON.
8. ALL OIL/GAS PIPELINES OR PIPELINE EASEMENTS WITH OWNERSHIP THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
9. ALL OIL/GAS WELLS WITH OWNERSHIP (PLUGGED, ABANDONED, AND/OR ACTIVE) THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
10. NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED ACROSS ANY PIPELINES, BUILDING LINES, AND/OR EASEMENTS. BUILDING SETBACK LINES WILL BE REQUIRED ADJACENT TO OIL/GAS PIPELINES. THE SETBACKS AT A MINIMUM SHOULD BE 15 FEET OFF CENTERLINE OF LOW PRESSURE GAS LINES, AND 30 FEET OFF CENTERLINE OF HIGH PRESSURE GAS LINES.
11. THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY VALID COVENANTS OR RESTRICTIONS.
12. THE BUILDING LINES SHOWN ON THIS PLAT SHALL BE IN ADDITION TO, AND SHALL NOT LIMIT OR REPLACE, ANY BUILDING LINES REQUIRED BY THE CITY OF BRENHAM CODE OF ORDINANCES AT THE TIME OF THE DEVELOPMENT OF THE PROPERTY.
13. CONTOURS SHOWN HEREON WERE DERIVED FROM LIDAR DATA AND PROVIDED BY OTHERS.
14. (DRWCT) DENOTES DEED RECORDS OF WASHINGTON COUNTY, TEXAS.
(ORWCT) DENOTES OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS.
(PRWCT) DENOTES PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.
(PCFSN) DENOTES PLAT CABINET FILE SLIDE NO.
B.L. DENOTES BUILDING LINE
U.E. DENOTES UTILITY EASEMENT
C.O.B. DENOTES CITY OF BRENHAM

SURVEY MAP

SHOWING A SURVEY OF A SUBDIVISION OF 51.119 ACRES OF LAND, CONSISTING OF LOT 1 (1.700 ACRES) AND LOT 2 (49.419 ACRES), LYING AND BEING SITUATED IN THE CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS, PART OF THE JOHN LONG SURVEY, A-156, SAID LOT 1 AND LOT 2 BEING PART OF THE SAME LAND DESCRIBED AS 51.119 ACRES IN THE DEED FROM THE FIRST BAPTIST CHURCH OF BRENHAM, TEXAS TO BRENHAM MARKET SQUARE, LP, DATED AUGUST 27, 2018, AS RECORDED IN VOLUME 1644, PAGE 324, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS, BEING PART OF SECTION 1, LOT 1 (CALLED 2.052 ACRES) OF POHLMAYER SUBDIVISION, A BOUNDARY LINE ADJUSTMENT PLAT OF SAID SUBDIVISION BEING OF RECORD IN PLAT CABINET FILE SLIDE NO. 463-A, IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS AND BEING PART OF SECTION 4, LOT 1 (CALLED 38.799 ACRES) OF T & L BUSINESS PARK SUBDIVISION, A BOUNDARY LINE ADJUSTMENT PLAT OF SAID SUBDIVISION BEING OF RECORD IN PLAT CABINET FILE SLIDE NO. 462-B, IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.

CERTIFICATION

THE STATE OF TEXAS
COUNTY OF WASHINGTON

I, JON E. HODDE, REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 5197 OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS MAP SHOWING A SURVEY AND SUBDIVISION OF 51.119 ACRES OF LAND IS TRUE AND CORRECT IN ACCORDANCE WITH AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY PERSONAL DIRECTION AND SUPERVISION.

DATED THIS THE 23RD DAY OF MAY, 2019, A.D.

JON E. HODDE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5197
HODDE & HODDE LAND SURVEYING, INC.
613 EAST BLUE BELL ROAD
BRENHAM, TEXAS 77833
(979)-836-5681
TEXAS FIRM REGISTRATION NO. 10018800

OWNER ACKNOWLEDGMENT

WE, BRENHAM MARKET SQUARE, LP, THE OWNERS OF THE LAND DESCRIBED HEREON AND WHOSE NAMES ARE SUBSCRIBED HERETO, DO HEREBY ACKNOWLEDGE THE CHANGES TO SAID PROPERTY IN ACCORDANCE WITH THE PLAT SHOWN HEREON. THE PLATTED PROPERTY REMAINS SUBJECT TO EXISTING DEDICATIONS, COVENANTS, RESTRICTIONS AND EASEMENTS EXCEPT AS SHOWN OR STATED HEREON.

BY: _____
(SIGNATURE)

(PRINTED NAME & TITLE)

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF TEXAS

COUNTY OF _____

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON

THE ____ DAY OF _____, 2019,

BY _____

NOTARY PUBLIC, STATE OF TEXAS

(SEAL)

LIENHOLDERS' ACKNOWLEDGMENT AND SUBORDINATION STATEMENT

WE, EXTRACO BANKS, N.A., THE OWNERS AND HOLDERS OF A LIEN AGAINST THE PROPERTY DESCRIBED AS 51.119 ACRES IN THE DEED OF TRUST, DATED AUGUST 27, 2018, AS RECORDED IN VOLUME 1644, PAGE 337, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS, DO HEREBY IN ALL THING SUBORDINATE TO SAID PLAT OF WASHINGTON COUNTY, TEXAS. SAID LIEN AND WE HEREBY CONFIRM THAT WE ARE THE PRESENT OWNER OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

BY: _____
(SIGNATURE)

(PRINTED NAME & TITLE)

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF TEXAS

COUNTY OF _____

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____

DAY OF _____, 2019, BY _____

NOTARY PUBLIC, STATE OF TEXAS

(SEAL)

PLANNING AND ZONING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, 2019 BY
THE PLANNING AND ZONING COMMISSION OF THE CITY OF BRENHAM, TEXAS.

CHAIRMAN

SECRETARY

COUNTY CLERK FILING ACKNOWLEDGMENT STATEMENT

THE STATE OF TEXAS §
COUNTY OF WASHINGTON §

I, _____, CLERK OF THE COUNTY COURT OF WASHINGTON COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK. ____M., AND DULY RECORDED ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK. ____M. IN CABINET _____ SHEET _____ OF RECORD IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT BRENHAM, WASHINGTON COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

CLERK OF THE COUNTY COURT
WASHINGTON COUNTY, TEXAS

W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road . Brenham, Texas 77833
979-836-5681 . 979-836-5683 (Fax)
www.hoddesurveying.com

**PRELIMINARY PLAT OF
MARKET SQUARE BRENHAM SUBDIVISION
CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS**
CONSISTING OF 2
CONTAINING 51.119 ACRES
DATE: MAY 2019

OWNER/DEVELOPER
BRENHAM MARKET SQUARE, LP
1722 BROADMOOR DRIVE, SUITE 212
BRYAN, TEXAS 77802
PHN. 979-774-2900

**SHEET 4
OF 4**



CASE P-19-018

FINAL PLAT: MARKET SQUARE BRENHAM SUBDIVISION

PLAT TITLE:	Market Square Brenham Subdivision	CITY/ETJ: City
PLAT TYPE:	Final Plat	
OWNER/APPLICANT:	Brenham Market Square LP/Hodde & Hodde Land Surveying, Inc.	
ADDRESS/LOCATION:	2410 S. Market Street, located at the intersection of US Highway 290 E, Cantey Street and South Market Street.	
LEGAL DESCRIPTION:	Proposed Lots 1-2 in the Market Square Brenham Subdivision, in Brenham, Washington County, Texas	
LOT AREA:	51.119 acres	
ZONING DISTRICT/ USE:	B-2 Commercial Research and Technology District / undeveloped vacant land	
COMP PLAN FUTURE LAND USE:	Multiple-Family Residential	

REQUEST:

The subject 51.119 acres of land is owned by Brenham Market Square, LP. Paul Leventis, on behalf of Brenham Market Square, LP desires to divide this tract into two (2) lots to begin development of this tract of land. Proposed Lot 1 will contain 1.70 acres of land and proposed Lot 2 will contain 49.419 acres of land.

STAFF ANALYSIS AND RECOMMENDATION:

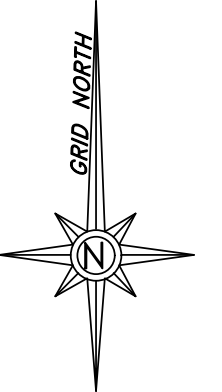
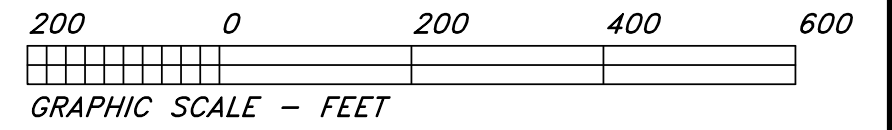
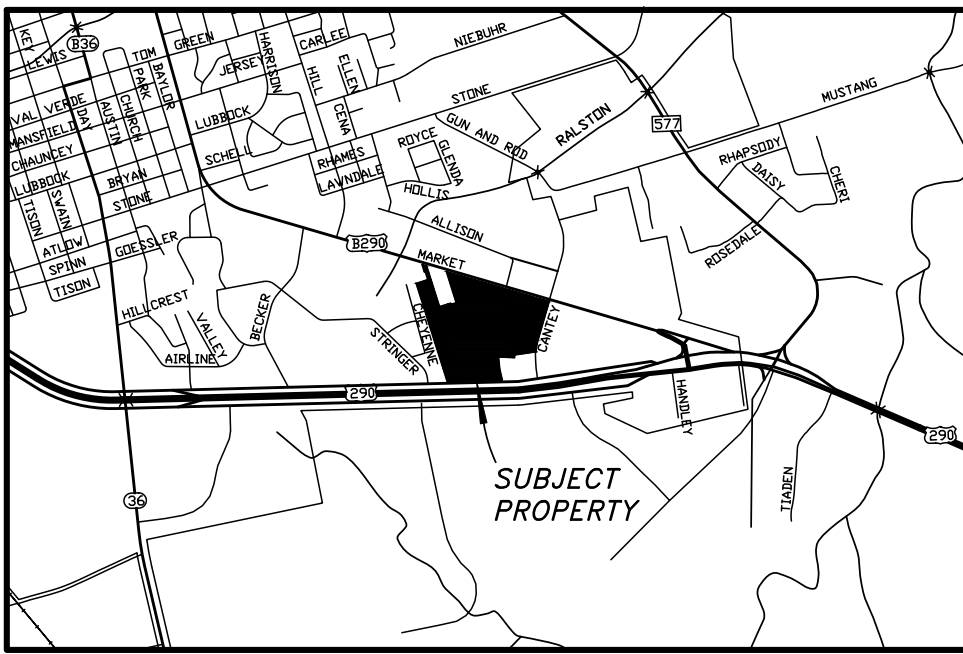
The proposed final plat includes the location of easements and building setback lines in relation to established property lines.

Development Services have reviewed this final plat for compliance with applicable City of Brenham regulations and ordinances of the City of Brenham, Texas and **recommends approval** of this plat as presented.

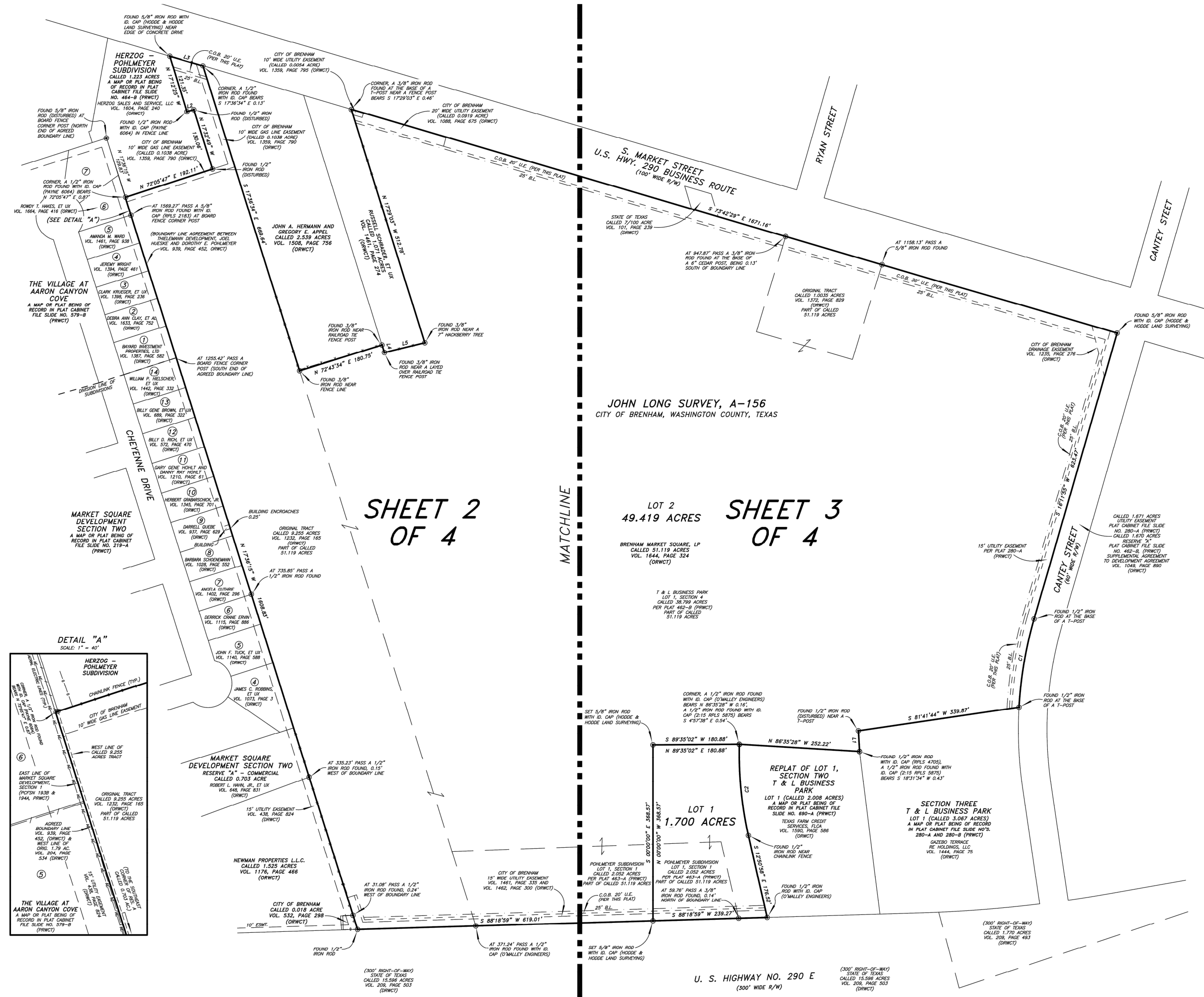
EXHIBITS:

- A. Proposed Final Plat

VICINITY MAP
(SCALE: 1" = 3000')



SCALE: 1" = 200'



SHEET 2
OF 4

SHEET 3
OF 4

OVERALL LAYOUT

LEGEND

- CORNER MONUMENT (AS NOTED)
- BOUNDARY LINES
- DEED LINES/ORIGINAL LOT LINES
- - - EASEMENT LINES
- BUILDING LINES

LINE TABLE

NUM	BEARING	DISTANCE
L1	S 3°08'24" E	43.41'
L2	S 74°47'56" W	14.92'
L3	S 73°42'29" E	72.12'
L4	S 18°12'09" E	16.52'
L5	N 76°28'27" E	86.98'

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	12°56'43"	187.53'	830.00'	S 9°43'34" W	187.13'
C2	14°18'06"	192.20'	770.00'	S 5°41'55" E	191.70'

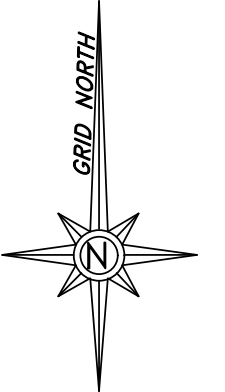
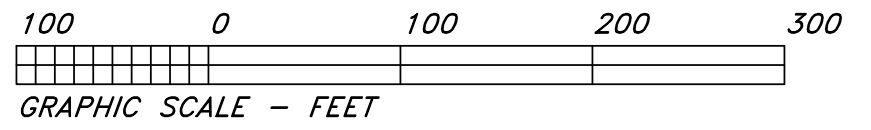
FINAL PLAT OF
MARKET SQUARE
BRENHAM SUBDIVISION
CITY OF BRENHAM, WASHINGTON
COUNTY, TEXAS

CONSISTING OF 2 LOTS
CONTAINING 51.119 ACRES
DATE: MAY 2019

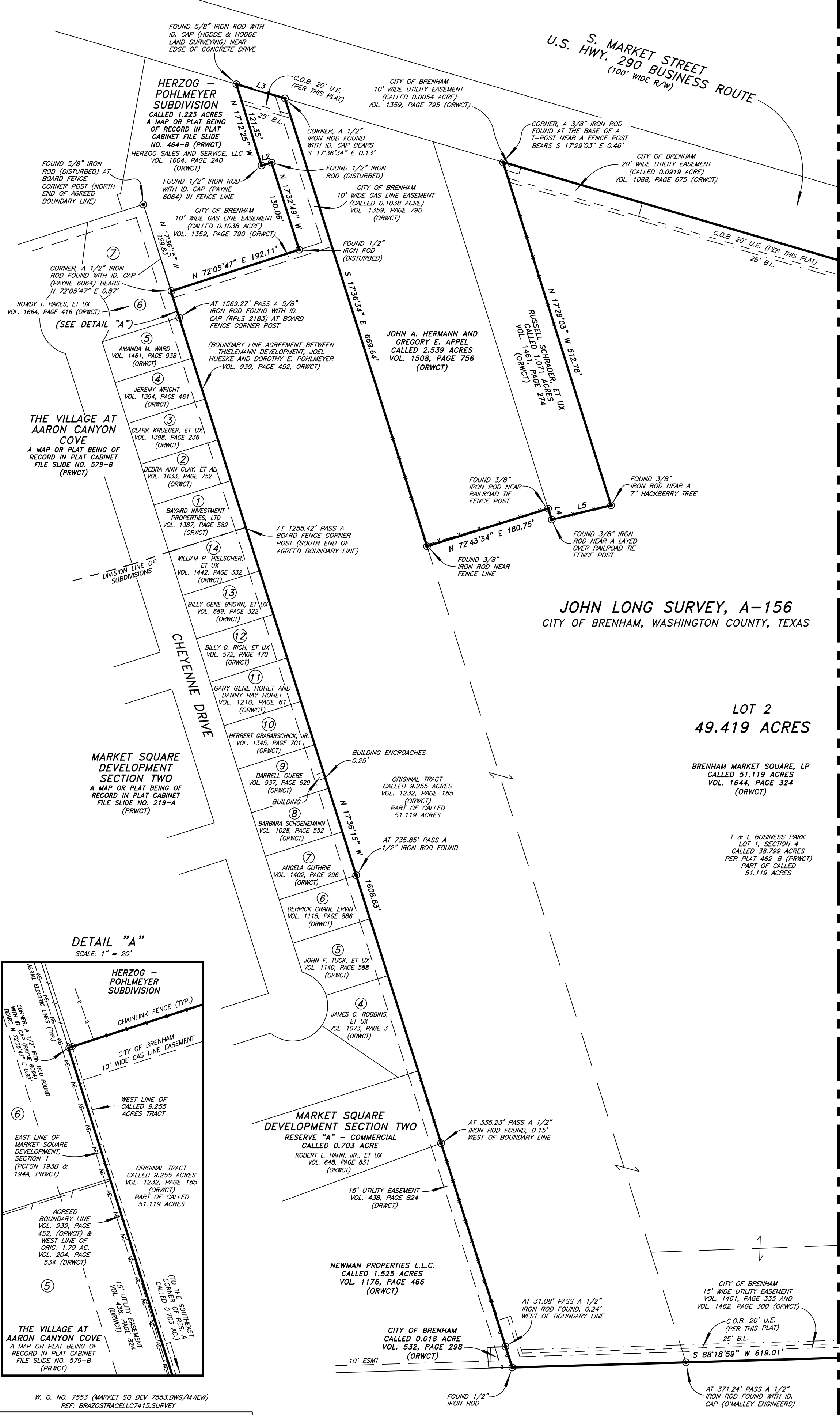
SHEET 1
OF 4

W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road · Brenham, Texas 77833
979-836-5681 · 979-836-5683 (Fax)
www.hoddesurveying.com



SCALE: 1" = 100'



LEGEND

- CORNER MONUMENT (AS NOTED)
- BOUNDARY LINES
- - - DEED LINES/ORIGINAL LOT LINES
- - - EASEMENT LINES
- - - BUILDING LINES

LINE TABLE

NUM	BEARING	DISTANCE
L1	S 3°08'24" E	43.41'
L2	S 74°47'56" W	14.92'
L3	S 73°42'29" E	72.12'
L4	S 18°12'09" E	16.52'
L5	N 76°28'27" E	86.98'

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	12°56'43"	187.53'	830.00'	S 9°43'34" W	187.13'
C2	14°18'06"	192.20'	770.00'	S 5°41'55" E	191.70'

FINAL PLAT OF MARKET SQUARE BRENHAM SUBDIVISION
CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS

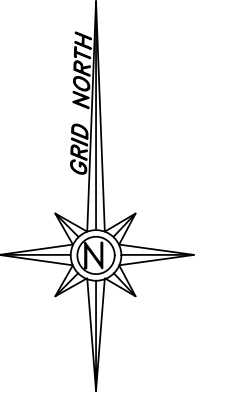
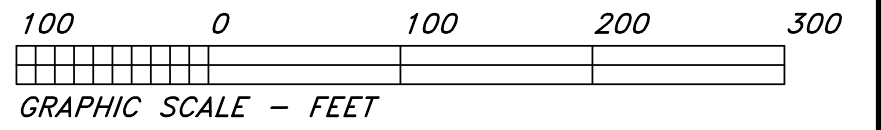
CONSISTING OF 2 LOTS
CONTAINING 51.119 ACRES
DATE: MAY 2019

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road . Brenham, Texas 77833
979-836-5681 . 979-836-5683 (Fax)
www.hoddesurveying.com

(300' RIGHT-OF-WAY)
STATE OF TEXAS
CALLED 15.596 ACRES
VOL. 209, PAGE 503
(DRWCT)

U. S. HIGHWAY NO. 290 E
(300' WIDE R/W)

MATCHLINE SHEET 3 OF 4



SCALE: 1" = 100'

LEGEND

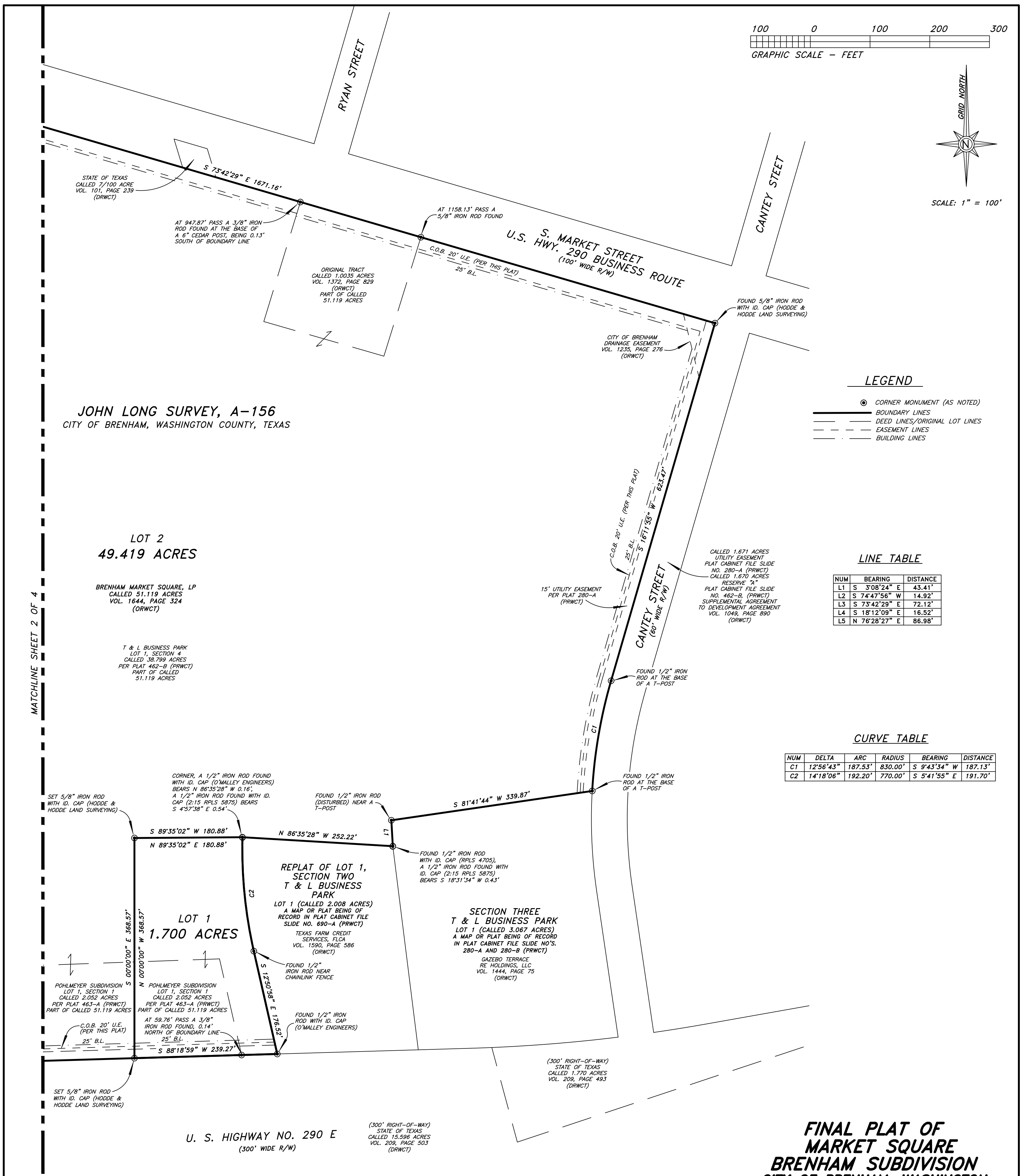
- ⊙ CORNER MONUMENT (AS NOTED)
- BOUNDARY LINES
- - - DEED LINES/ORIGINAL LOT LINES
- · - · - EASEMENT LINES
- - - BUILDING LINES

LINE TABLE

NUM	BEARING	DISTANCE
L1	S 3°08'24" E	43.41'
L2	S 74°47'56" W	14.92'
L3	S 73°42'29" E	72.12'
L4	S 18°12'09" E	16.52'
L5	N 76°28'27" E	86.98'

CURVE TABLE

NUM	DELTA	ARC	RADIUS	BEARING	DISTANCE
C1	12°56'43"	187.53'	830.00'	S 9°43'34" W	187.13'
C2	14°18'06"	192.20'	770.00'	S 5°41'55" E	191.70'



JOHN LONG SURVEY, A-156
CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS

LOT 2
49.419 ACRES

BRENHAM MARKET SQUARE, LP
CALLED 51.119 ACRES
VOL. 1644, PAGE 324
(ORWCT)

T & L BUSINESS PARK
LOT 1, SECTION 4
CALLED 38.799 ACRES
PER PLAT 462-B (PRWCT)
PART OF CALLED
51.119 ACRES

LOT 1
1.700 ACRES

**REPLAT OF LOT 1,
SECTION TWO
T & L BUSINESS
PARK**
LOT 1 (CALLED 2.008 ACRES)
A MAP OR PLAT BEING OF
RECORD IN PLAT CABINET FILE
SLIDE NO. 690-A (PRWCT)
TEXAS FARM CREDIT
SERVICES, FLCA
VOL. 1590, PAGE 586
(ORWCT)

**SECTION THREE
T & L BUSINESS PARK**
LOT 1 (CALLED 3.067 ACRES)
A MAP OR PLAT BEING OF RECORD
IN PLAT CABINET FILE SLIDE NO'S.
280-A AND 280-B (PRWCT)
GAZEBO TERRACE
RE HOLDINGS, LLC
VOL. 1444, PAGE 75
(ORWCT)

**FINAL PLAT OF
MARKET SQUARE
BRENHAM SUBDIVISION
CITY OF BRENHAM, WASHINGTON
COUNTY, TEXAS**

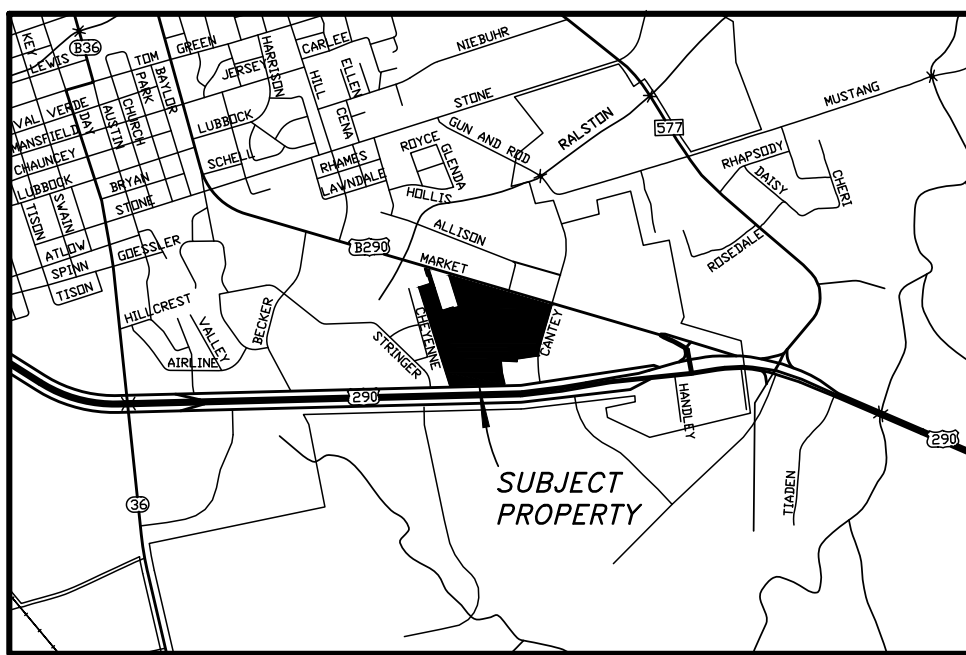
CONSISTING OF 2 LOTS
CONTAINING 51.119 ACRES
DATE: MAY 2019

**SHEET 3
OF 4**

W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road . Brenham, Texas 77833
979-836-5681 . 979-836-5683 (Fax)
www.hoddesurveying.com

VICINITY MAP
(SCALE: 1" = 3000')



OWNER ACKNOWLEDGMENT

WE, BRENHAM MARKET SQUARE, LP, THE OWNERS OF THE LAND DESCRIBED HEREON AND WHOSE NAMES ARE SUBSCRIBED HERETO, DO HEREBY ACKNOWLEDGE THE CHANGES TO SAID PROPERTY IN ACCORDANCE WITH THE PLAT SHOWN HEREON. THE PLATTED PROPERTY REMAINS SUBJECT TO EXISTING DEDICATIONS, COVENANTS, RESTRICTIONS AND EASEMENTS EXCEPT AS SHOWN OR STATED HEREON.

BY: _____
(SIGNATURE)

(PRINTED NAME & TITLE)

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON
THE ____ DAY OF _____, 2019,
BY _____

NOTARY PUBLIC, STATE OF TEXAS
(SEAL)

LIENHOLDERS' ACKNOWLEDGMENT AND SUBORDINATION STATEMENT

WE, EXTRACO BANKS, N.A., THE OWNERS AND HOLDERS OF A LIEN AGAINST THE PROPERTY DESCRIBED AS 51.119 ACRES IN THE DEED OF TRUST, DATED AUGUST 27, 2018, AS RECORDED IN VOLUME 1644, PAGE 337, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS, DO HEREBY IN ALL THING SUBORDINATE TO SAID PLAT OF WASHINGTON COUNTY, TEXAS. SAID LIEN AND WE HEREBY CONFIRM THAT WE ARE THE PRESENT OWNER OF SAID LIEN AND HAVE NOT ASSIGNED THE SAME NOR ANY PART THEREOF.

BY: _____
(SIGNATURE)

(PRINTED NAME & TITLE)

NOTARY PUBLIC ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF _____
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE ____
DAY OF _____, 2019, BY _____

NOTARY PUBLIC, STATE OF TEXAS
(SEAL)

PLANNING AND ZONING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF _____, 2019 BY
THE PLANNING AND ZONING COMMISSION OF THE CITY OF BRENHAM, TEXAS.

CHAIRMAN

SECRETARY

COUNTY CLERK FILING ACKNOWLEDGMENT STATEMENT

THE STATE OF TEXAS §
COUNTY OF WASHINGTON §

I, _____, CLERK OF THE COUNTY COURT OF WASHINGTON COUNTY, TEXAS DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH ITS CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK. ____M., AND DULY RECORDED ON THE ____ DAY OF _____, 2____, AT ____ O'CLOCK. ____M. IN CABINET _____ SHEET _____ OF RECORD IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.

WITNESS MY HAND AND SEAL OF OFFICE, AT BRENHAM, WASHINGTON COUNTY, TEXAS, THE DAY AND DATE LAST ABOVE WRITTEN.

CLERK OF THE COUNTY COURT
WASHINGTON COUNTY, TEXAS

NOTES:

1. THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE TEXAS STATE PLANE GRID SYSTEM, NAD-83 {2011}, CENTRAL ZONE 4203. CONVERGENCE ANGLE AT N: 10037905.626' - E: 3544925.146' IS 2'-02"-04.23", COMBINED SCALE FACTOR IS 0.99998033, U.S. SURVEY FEET, UTILIZING TXDOT CONTROL MONUMENTS FOR U.S. HWY. 290. DISTANCES SHOWN HEREON ARE GROUND DISTANCES.
2. NO PART OF THE SUBJECT PROPERTY LIES WITHIN THE SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) AS COMPILED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, MAP NUMBERS 48477C0295C AND 48477C0315C, EFFECTIVE DATE AUGUST 16, 2011, CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS.
3. © - DENOTES A 5/8" IRON ROD FOUND WITH ID. CAP STAMPED "HODDE & HODDE LAND SURVEYING" UNLESS OTHERWISE NOTED ON THE PLAT.
4. THIS SURVEY WAS PERFORMED IN CONJUNCTION WITH AGGIELAND TITLE COMPANY TITLE EXAMINER'S REPORT GF NO. 36558, EFFECTIVE DATE APRIL 26, 2019 AT 8:00 AM, PREPARATION DATE MAY 13, 2019.
5. THERE IS ALSO DEDICATED FOR UTILITIES AN UNOBSTRUCTED AERIAL EASEMENT FIVE (5) FEET WIDE FROM A PLANE TWENTY (20) FEET ABOVE THE GROUND UPWARD, LOCATED ADJACENT TO THE EASEMENTS SHOWN HEREON.
6. ALL OIL/GAS PIPELINES OR PIPELINE EASEMENTS WITH OWNERSHIP THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
7. ALL OIL/GAS WELLS WITH OWNERSHIP (PLUGGED, ABANDONED, AND/OR ACTIVE) THROUGH THE SUBDIVISION HAVE BEEN SHOWN BASED ON ABOVE GROUND EVIDENCE, TEXAS RAILROAD COMMISSION DATA AND A TITLE REPORT DATED EFFECTIVE OCTOBER 16, 2018.
8. NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED ACROSS ANY PIPELINES, BUILDING LINES, AND/OR EASEMENTS. BUILDING SETBACK LINES WILL BE REQUIRED ADJACENT TO OIL/GAS PIPELINES. THE SETBACKS AT A MINIMUM SHOULD BE 15 FEET OFF CENTERLINE OF LOW PRESSURE GAS LINES, AND 30 FEET OFF CENTERLINE OF HIGH PRESSURE GAS LINES.
9. THIS PLAT DOES NOT ATTEMPT TO AMEND OR REMOVE ANY VALID COVENANTS OR RESTRICTIONS.
10. THE BUILDING LINES SHOWN ON THIS PLAT SHALL BE IN ADDITION TO, AND SHALL NOT LIMIT OR REPLACE, ANY BUILDING LINES REQUIRED BY THE CITY OF BRENHAM CODE OF ORDINANCES AT THE TIME OF THE DEVELOPMENT OF THE PROPERTY.
11. (DRWCT) DENOTES DEED RECORDS OF WASHINGTON COUNTY, TEXAS.
(ORWCT) DENOTES OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS.
(PRWCT) DENOTES PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.
(PCFSN) DENOTES PLAT CABINET FILE SLIDE NO.
B.L. DENOTES BUILDING LINE
U.E. DENOTES UTILITY EASEMENT
C.O.B. DENOTES CITY OF BRENHAM

SURVEY MAP

SHOWING A SURVEY OF A SUBDIVISION OF 51.119 ACRES OF LAND, CONSISTING OF LOT 1 (1.700 ACRES) AND LOT 2 (49.419 ACRES), LYING AND BEING SITUATED IN THE CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS, PART OF THE JOHN LONG SURVEY, A-156, SAID LOT 1 AND LOT 2 BEING PART OF THE SAME LAND DESCRIBED AS 51.119 ACRES IN THE DEED FROM THE FIRST BAPTIST CHURCH OF BRENHAM, TEXAS TO BRENHAM MARKET SQUARE, LP, DATED AUGUST 27, 2018, AS RECORDED IN VOLUME 1644, PAGE 324, IN THE OFFICIAL RECORDS OF WASHINGTON COUNTY, TEXAS, BEING PART OF SECTION 1, LOT 1 (CALLED 2.052 ACRES) OF POHLMAYER SUBDIVISION, A BOUNDARY LINE ADJUSTMENT PLAT OF SAID SUBDIVISION BEING OF RECORD IN PLAT CABINET FILE SLIDE NO. 463-A, IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS AND BEING PART OF SECTION 4, LOT 1 (CALLED 38.799 ACRES) OF T & L BUSINESS PARK SUBDIVISION, A BOUNDARY LINE ADJUSTMENT PLAT OF SAID SUBDIVISION BEING OF RECORD IN PLAT CABINET FILE SLIDE NO. 462-B, IN THE PLAT RECORDS OF WASHINGTON COUNTY, TEXAS.

CERTIFICATION

THE STATE OF TEXAS
COUNTY OF WASHINGTON

I, JON E. HODDE, REGISTERED PROFESSIONAL LAND SURVEYOR, NO. 5197 OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS MAP SHOWING A SURVEY AND SUBDIVISION OF 51.119 ACRES OF LAND IS TRUE AND CORRECT IN ACCORDANCE WITH AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY PERSONAL DIRECTION AND SUPERVISION.

DATED THIS THE 23RD DAY OF MAY, 2019, A.D.

JON E. HODDE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 5197
HODDE & HODDE LAND SURVEYING, INC.
613 EAST BLUE BELL ROAD
BRENHAM, TEXAS 77833
(979)-836-5681
TEXAS FIRM REGISTRATION NO. 10018800

W. O. NO. 7553 (MARKET SQ DEV 7553.DWG/MVIEW)
REF: BRAZOSTRACELL7415.SURVEY

Hodde & Hodde Land Surveying, Inc.
Professional Land Surveying
613 E. Blue Bell Road . Brenham, Texas 77833
979-836-5681 . 979-836-5683 (Fax)
www.hoddesurveying.com

**FINAL PLAT OF
MARKET SQUARE BRENHAM SUBDIVISION
CITY OF BRENHAM, WASHINGTON COUNTY, TEXAS**
CONSISTING OF 2
CONTAINING 51.119 ACRES
DATE: MAY 2019

OWNER/DEVELOPER
BRENHAM MARKET SQUARE, LP
1722 BROADMOOR DRIVE, SUITE 212
BRYAN, TEXAS 77802
PHN. 979-774-2900

**SHEET 4
OF 4**



CASE NUMBER P-19-019
TEXT AMENDMENT – Sign Ordinance

REQUEST:

The City of Brenham initiated this request to amend (re-write) Chapter 21 – Signs, of the City of Brenham Code of Ordinances.

BACKGROUND:

During the workshop portion of the City Council meeting on September 20, 2018 staff presented a review of the current sign ordinance and asked for feedback concerning an update to the ordinance. Staff was directed to draft revisions to the current sign ordinance and to meet with citizens, business and property owners, the Main Street Board and the Planning and Zoning Commission to discuss said revisions. Since September, four public input meetings have been held and multiple workshop presentations have been presented to the Planning and Zoning Commission, Main Street Board, and City Council.

ANALYSIS:

Chapter 21 – Signs, of the Brenham Code of Ordinances establishes minimum signage standards to safeguard and promote life, health, property, safety and public welfare by limiting the size, construction, illumination, movement, materials, location, height, and condition, installation, and maintenance of all signs placed on private property for exterior observation.

The current sign ordinance was adopted a few decades ago and is out of date in many ways, including signage types permitted, signage area allowed, and permitting standards. For the past decade multiple versions and revisions to the sign ordinance have been presented for consideration by the Planning and Zoning Commission and City Council. During the initial phases and throughout the research portion of the proposed sign ordinance, City Staff conferred with signage experts and referenced the most up to date model sign ordinances, including the American Planning Association and the United States Sign Council. Additionally, staff worked closely with the City Attorney to ensure that the proposed sign ordinance is legally defensible and consistent with current legislation and court rulings.

Perhaps the most important component of the proposed sign ordinance includes the citizen’s feedback portion of the sign ordinance. Throughout the ordinance amendment process staff has conducted four Public Input Meetings and met individually with many interested citizens and business owners. As a direct result of citizen feedback, City Staff worked to develop a Pilot Program to allow sidewalk signs on key intersections downtown (Exhibit C and D).

For the aforementioned reasons, staff finds that the proposed sign ordinance (Exhibit A) is ready for review and action by the Planning and Zoning Commission. A summary of the proposed sign ordinance is included in the form of PowerPoint slides as Exhibit B. Following review of the proposed sign ordinance, the City Council is scheduled to consider adoption of the Ordinance on June 6th and 20th, 2019.

STAFF RECOMMENDATION:

Staff recommends **approval** of the proposed revised sign ordinance.

EXHIBITS:

1. Exhibit A – Draft Sign Ordinance
2. Exhibit B – PowerPoint Slides Outlining Draft Sign Ordinance
3. Exhibit C – Pilot Program FAQs
4. Exhibit D – Pilot Program Locations

Chapter 21 - SIGNS^[1]

Sec. 21-1. - Short title.

This Chapter shall be known as the "City of Brenham Sign Ordinance."

Sec. 21-2. - Purpose and scope.

The purpose of this Chapter is to provide minimum standards to safeguard and promote life, health, property, safety and public welfare by regulating the size, construction, illumination, movement, materials, location, height, condition, installation, and maintenance of all signs placed on public or private property for exterior observation, thus promoting the protection of property values, the preservation of the character of the various neighborhoods of the City of Brenham ("City"), the creation of an attractive and harmonious community, and protection against interference with the historic character of designated areas. This Chapter shall not be interpreted in a manner inconsistent with the United States Constitution First Amendment guarantee of free speech. If any provision of this Chapter is found by a court of competent jurisdiction to be invalid, such finding shall not affect the validity of other provisions of this Chapter that can be given effect without the invalid provision. Unless exempted in this Chapter, all signs in the corporate limits of the City of Brenham and its extraterritorial jurisdiction ("ETJ") shall be erected, constructed, installed and maintained in accordance with the standards and requirements of this Chapter. These sign regulations are intended to:

1. Promote the safety of persons and property;
2. Protect the public welfare and to enhance the appearance and economic value of the community;
3. Promote compatibility of signs with the use of the property to which the signs are appurtenant;
4. Promote compatibility of signs with the landscape and architecture of surrounding buildings;
5. Promote signs that are appropriate to the activity to which the signs pertain;
6. Avoid and minimize traffic accidents and problems caused by distracting signs;
7. Ensure that all signs are constructed and maintained in a structurally sound, safe and attractive condition.

Sec. 21-3. – Non-Commercial Signs

Any sign authorized to be displayed by this Chapter may contain a non-commercial message.

Sec. 21-4. - Definitions.

As used in this Chapter, unless the context otherwise indicates, the following words are defined as follows. Words and terms not expressly defined in this section have their ordinary meanings based on the latest edition of Merriam-Webster's unabridged dictionary.

Attention-Getting Devices. Devices erected, placed or maintained outdoors so as to attract attention, including but not limited to the following devices: cut out figures, discs, festoons, tinsel, ribbons, pinwheels, inflatable objects such as balloons, pennants, propellers, steam or smoke producing

devices, streamers, whirligigs, wind devices, blinking, rotating, moving, chasing, flashing, glaring, strobe, scintillating, search, flood or spot lights, or similar devices. Attention-getting devices shall not include any structure or device that is permitted under the City's applicable building code or other code(s).

Awning or Canopy Sign. A sign painted on, printed on, or attached flat against the surface of an awning or canopy. An "awning or canopy sign" shall be considered an attached wall sign.

Banner Sign. A flexible roll-up sign made of vinyl, cloth or any other lightweight non-rigid material, containing text, images, words, symbols or logos attracting attention to a business, facility, organization or event. A banner enclosed with a rigid frame shall be considered a wall sign.

Billboard. A sign that is freestanding and is an off-premises sign that is designed to allow for a change in copy, so that the characters, letters, display, or illustrations can be changed or rearranged within a fixed sign face. Billboards are not permitted anywhere in the City and its ETJ.

Building (or Occupancy) Frontage. The distance or length of the primary building on the property adjacent and generally parallel to the business frontage or lot frontage.

Changeable Electronic Variable Messaging Signs ("CEVMS"). A sign which permits lights to be turned on or off intermittently or which is operated in a way whereby light is turned on or off intermittently, including any illuminated sign on which such illumination is not kept stationary or constant in intensity and color at all times when such sign is in use, including but not limited to a light emitting diode ("LED"), liquid crystal display ("LCD"), or digital sign, and which varies in color or intensity. The term "CEVMS signs" does not include a sign located within the public right-of-way which functions as a traffic control device and which is described and identified in the Manual on Uniform Traffic Control Devices ("MUTCD") approved by the federal highway administrator as the national standard.

Dilapidation. The condition of any sign such that elements of the sign area or background have portions of the finished material missing, broken, or illegible; where the structural support is visibly bent, broken, dented, rusted, corroded, or loose; or where the sign or its elements are not in compliance with the applicable electrical code, building code or other code(s).

Directional (Wayfinding) Sign. A systematic network of directional on-premises and off-premises signage installed and maintained by a public or private entity to guide vehicular or pedestrian movement to/through a residential subdivision, nonresidential development or other areas of the City.

Ground Sign. A sign which is supported by structures or supports in or upon the ground and independent of support from any building. The term "ground sign" includes pole and monument signs unless otherwise specified in this Chapter.

Inflatable Sign. An inflatable device, with or without a message, text, images, figure, or design attached to its surface, which is designed to attract attention.

Marquee Sign. A canopy or covering structure bearing a signboard or copy projecting from and attached to a building. A "marquee sign" shall be considered an attached wall sign.

Message Board. A sign or portion of a sign attached to a sign structure or wall which contains a sign face designed to be frequently changed, or to allow the removal or replacement of individual letters,

words, or symbols on the sign face for the purpose of changing an advertising message or other communication. See also sidewalk signs.

Monument Sign. Any freestanding sign, the entire base of which is affixed directly to the ground or is supported by a sign structure that has a base whose width measures at least seventy-five percent (75%) of the width of the sign that is placed or anchored in the ground.

Off-Premises Sign. Any sign identifying or advertising a business, person, activity, goods, products, or services not located on the property where the sign is installed and maintained, or that directs persons to a location other than the property where the sign is located.

On-Premises Sign. Any sign identifying or advertising a business, person, activity, goods, products, or services primarily sold, offered for sale, or located on the property where the sign is installed and maintained.

Pole Sign. Any freestanding sign, that is permanently supported in a fixed location by a structure of poles, uprights, or braces from the ground and not supported by a building or base structure.

Portable Sign. A sign designed or constructed to be readily moved from one location to another, including but not limited to a sign mounted upon or designed to be mounted upon a trailer, bench, wheeled carrier or other non-motorized mobile structure. A portable sign that has wheels removed shall be considered a portable sign hereunder. For the purposes of this Chapter, trailer signs and signs on benches are portable signs.

Projecting Sign. A sign, other than a wall sign, which is affixed to any building wall or structure and extends beyond the building wall or structure. A projecting sign shall extend no more than four (4) feet perpendicular from the wall and no more than three (3) feet vertically above the wall of the building or structure.

Responsible Party. The owner/operator of the business, facility or other entity identified on a sign; the owner of the property upon which a sign or sign structure is located; the owner of a sign or sign structure; the person or entity who installs a sign or sign structure, or contracts with a third party to accomplish the installation; and/or the person who retrieves or claims a sign that has been impounded by the City.

Roof Sign. A sign erected, constructed and maintained wholly upon or above the roof of a building with the principal support attached to the roof structure. A roof sign shall not at any point exceed eight (8) feet above the roof level. A "roof sign" shall be considered an attached wall sign.

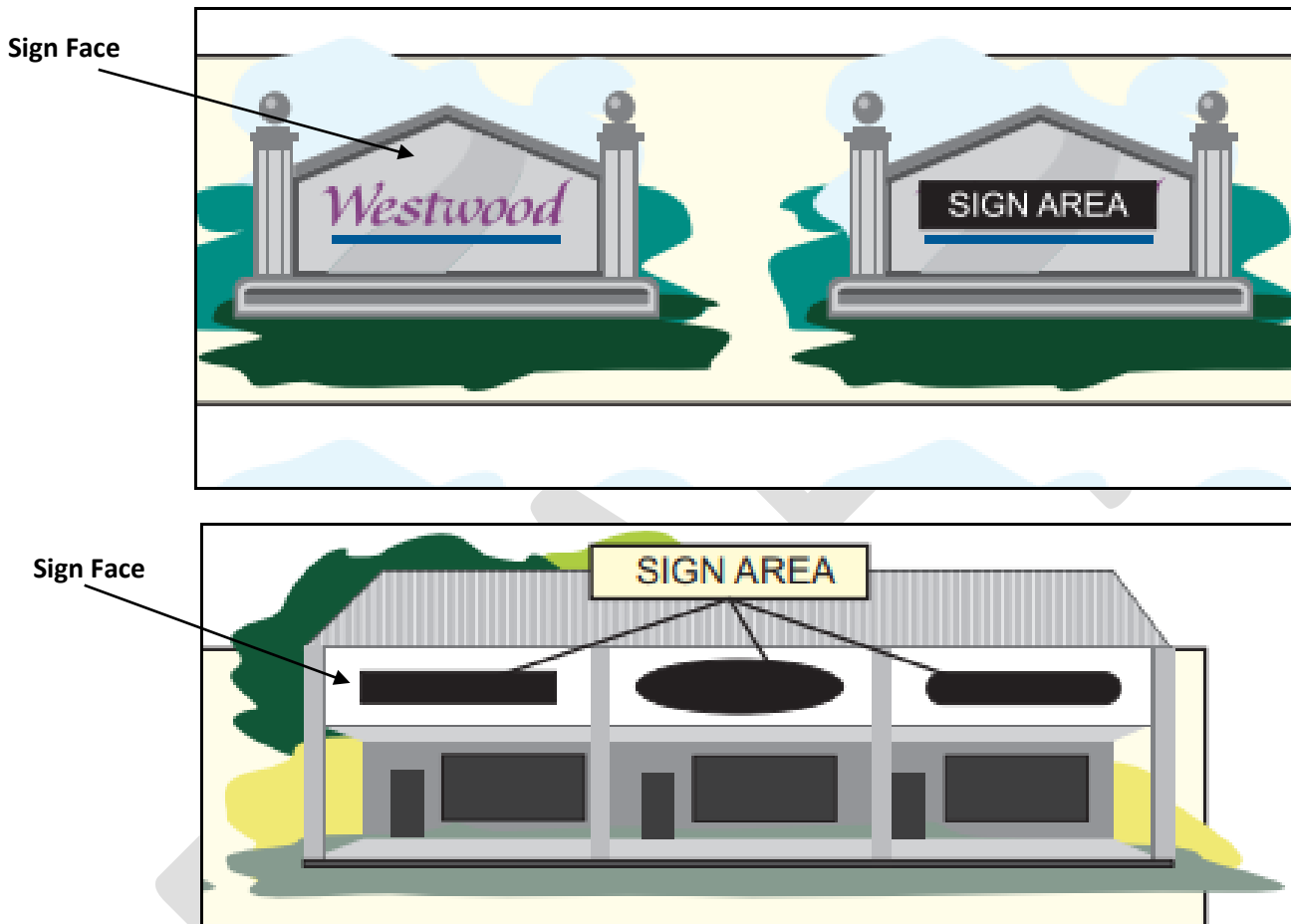
Sidewalk Sign. A moveable, portable, pedestrian-oriented, temporary sign that is supported by its own frame, and that is not secured or attached to the ground or surface upon which it is located. A-frame signs and sandwich board signs shall be considered sidewalk signs.

Sign. A structure, sign, display, light device, figure, painting, drawing, message, plaque, poster, billboard, or other object that includes text and/or images which is designed, intended, or used to communicate. Each display surface of a sign or sign face shall be considered to be a separate sign.

Sign Area. The space enclosed within the extreme edges of the sign for each sign face, not including the supporting structure or where attached directly to a building wall or surface, the space within the outline enclosing all the characters of the words, numbers, text, images or design.

Sign Copy: The visually communicative elements, including but not limited to words, letters, numbers, designs, figures, text, images or other symbolic presentation incorporated into a sign with the purpose of attracting attention to the subject matter or message.

Sign Face. The entire display surface area of a sign upon, against, or through which sign copy is placed.



Sign Setback. The shortest distance between the edge of pavement and the outer (leading) edge of any portion of a sign.

Snipe Sign. A sign made of any material when such sign is tacked, nailed, posted, pasted, glued or otherwise attached to trees, poles, stakes, utility poles, fences, public structures or other objects which are not erected, owned or maintained by the owner of the sign, and the advertising or other communication matter appearing thereon is not applicable to the use of the premises upon which such sign is located.

Temporary sign. A banner, poster, or advertising display constructed of paper, cloth, canvas, plastic sheet, cardboard, wallboard, plywood, or other like materials and that is intended to be displayed for a limited period of time. Signs encased in a rigid frame affixed to a building shall be considered a wall sign.

Under Canopy Sign. A sign suspended beneath a canopy, ceiling, roof, or marquee. Shall be considered an attached wall sign.

Wall Sign. Any sign, installed on or affixed to the exterior wall of a building, supported by the wall, and having the sign face generally parallel to the wall or painted directly onto the wall.

Window Sign. Any sign affixed to a window or exterior glass door or installed in any manner such that is intended to be viewable from the exterior of a building or structure.

Sec. 21-5. - Prohibited Signs.

All signage listed in this section shall be prohibited within the corporate limits of the City of Brenham and its ETJ. Additionally, any sign not specifically authorized in this Chapter is prohibited within the corporate limits of the City of Brenham and its ETJ unless granted prior approval by City Council. With the exception of Billboards (refer to Section 21-16), all existing prohibited signage shall be removed within 120 calendar days from Month XX, 2019, the effective date of the ordinance from which this Chapter is derived.

1. Attention-getting devices;
2. Billboards;
3. Portable signs with the exception of sidewalk signs;
4. Signs attached to or being held by a human or living creature for the purpose of advertising a commercial message for a business use;
5. Signs attached to any trees, utility pole or wire, traffic sign or signal;
6. Signs located in any public right-of-way;
7. Signs placed on parked vehicles or trailers for the primary purpose of displaying said sign; and
8. Snipe signs.

Sec. 21-6. - Sign Administrator and Enforcement.

1. Sign Administrator. The City Manager or his/her designee shall appoint a Sign Administrator. The Sign Administrator is empowered to delegate the duties and powers granted to and imposed upon him/her by this Chapter to other persons subject to the supervision and direction of the Sign Administrator. The Sign Administrator is directed to enforce and carry out all provisions of this Chapter.
2. Enforcement Responsibility. The duties of the Sign Administrator shall include not only the review and approval of permit applications as required by this Chapter, but also the responsibility of ensuring that all signs comply with this Chapter and any other applicable law, and that all signs for which a permit is required by this Chapter have been erected, constructed, installed and maintained pursuant to a valid permit. The Sign Administrator shall make such inspections, in accordance with applicable law, as may be necessary and shall initiate

appropriate action to bring about compliance with this Chapter and other applicable law. The Sign Administrator shall investigate any complaints of alleged violations of this Chapter.

3. Powers of the Sign Administrator. The Sign Administrator shall have the power and authority to administer and enforce the provisions, standards and requirements of this Chapter and all other applicable laws and ordinances relating to signs. Such powers include, but are not limited to the following specific powers:
 - a. Every sign for which a permit is required shall be subject to the inspection and approval of the Sign Administrator.
 - b. Upon presentation of proper identification to the Responsible Party in control of such property, as authorized by and in accordance with applicable law, the Sign Administrator may enter, for the purposes of inspecting and investigating signs or sign structures, any building, structure, or other premises or property between the hours of 8:00 a.m. and 5:00 p.m., Monday through Saturday; provided, however, that in cases of emergency where dangerous hazards are known or reasonably suspected to exist which may involve imminent injury to persons, loss of life, or significant property damage, and where the Responsible Party in control of the property is not available after the Sign Administrator has made a good faith effort to locate same, the Sign Administrator may enter the aforementioned structures and premises at any time upon presentation of proper identification to any other person upon the premises. If the Sign Administrator is denied admission to inspect any premises, inspection shall be made only under authority of an administrative search warrant or other appropriate warrant issued by a magistrate authorizing the inspection of the property for violations of this Chapter or other applicable laws and ordinances.
 - c. The Sign Administrator is hereby granted the power and authority to revoke any and all permits authorized by this Chapter for violation of the provisions, standards or requirements of this Chapter.
 - d. Upon issuance of a stop work order from the Sign Administrator, work on any sign that is being conducted in a manner contrary to the provisions of this Chapter or is being conducted in a dangerous or unsafe manner shall be immediately stopped. Such stop work order shall be in writing and shall be given to the owner of the property, to the owner's agent, or to the person doing the work, and shall state the conditions under which work may be resumed. In the event of an emergency, the Sign Administrator may verbally order that work be stopped without prior written notice, and a written stop work order shall be issued by the Sign Administrator no later than 5:00 p.m. of the next business day. Following the issuance of a stop work order, the Sign Administrator shall initiate proceedings to revoke any permit issued for the work covered by such stop work order, consistent with this section, unless the cause of the stop work order is corrected and resolved as determined by the Sign Administrator.

4. Appeals. Any affected person wishing to appeal a decision or interpretation of the Sign Administrator may file a written appeal with the City Manager's Office. The appeal shall be filed with the City Manager's Office no less than ten (10) calendar days following the decision or interpretation of the Sign Administrator, and the appellant must provide a copy of the appeal to the Sign Administrator when the appellant files the appeal with the City Manager's Office. Upon considering such appeal, the City Manager may reverse, affirm or modify in any regard the determination of the Sign Administrator. The City Manager shall render a decision within twenty (20) calendar days after the date the appeal was timely filed, or as soon as practical thereafter.

Sec. 21-7. - Permits Not Required.

The following signs are authorized in all Zoning Districts and within the ETJ and do not require a sign permit. Any sign listed below shall be erected, constructed, installed and maintained in a safe and structurally sound condition in conformance with all applicable codes:

1. Garage, estate, or yard sale sign. Such signs shall not be displayed for more than three (3) consecutive days for each sale and shall not be placed in public rights-of-way or on telephone/power/light poles. The date of the initial posting shall be displayed on all garage, estate and yard sale signs.
2. The modification of a sign face, including changing a commercial message to a non-commercial message, does not require a sign permit in accordance with this Chapter, provided that such modification does not increase the sign area or height or change the sign type;
3. Governmental signs or public notices authorized or required by law, including federal, state, or local law and regulations;
4. Signs located on or near the premises of public facilities such as baseball fields, stadiums, community centers, and other public facilities which are placed by a governmental entity or public institution of higher education for directional purposes;
5. Vehicular signs provided that the primary purpose of the vehicles is not for display of signs, and further provided that the vehicles are parked in areas appropriate to their use as vehicles, are in operable condition, and display a current and valid license plate/registration insignia;
6. Construction or real estate signs, provided that such signs are not illuminated and pertain to the premises upon which they are erected and maintained during construction or while the property is being actively marketed for sale or lease. One (1) sign structure with two (2) sign faces is permitted per property frontage and shall not exceed sixteen (16) square feet per sign face in residential districts or thirty-two (32) square feet per sign face in non-residential districts, and shall not exceed five (5) feet in height;

7. Sidewalk signs located on-premises of the business operations, shall not encroach within handicapped accessible access ways and routes, or public rights-of-way. Sidewalk signs shall only be displayed or erected during the actual hours of operation only, are limited to one (1) sign structure with two (2) sign faces per business/entity or tenant, and shall not exceed six (6) square feet in size per sign face; and
8. Window signs. Restaurant menus, displayed hours of operation, and "open" signs affixed to a window or exterior glass door or installed in any manner which do not attract the attention of persons not on the premises shall be counted towards the window sign allotment established in this Chapter.

Sec. 21-8. – Permits Required

Except as otherwise provided herein, no sign shall be erected, installed, maintained, relocated, constructed, altered, within the corporate limits and ETJ of the City of Brenham without first obtaining a permit.

1. Application for permit. An application for a sign permit and illustration/plans including the location, appearance, and dimensions of the sign shall be filed with the Sign Administrator.
2. The Sign Administrator shall promptly process the sign permit application and approve the application, reject the application, or notify the applicant of deficiencies in the application within ten (10) calendar days after receipt. Any application that complies with all provisions of this Chapter, the zoning ordinance, the applicable building code and/or other code(s), and other applicable laws, regulations, and ordinances shall be approved after inspection and approval of the plans and the site.
3. If the application is rejected, the Sign Administrator shall provide to the applicant in writing the reasons for the rejection. An application shall be rejected for non-compliance with the terms of this Chapter, the zoning ordinance, applicable building code and/or other code(s), or other applicable law, regulation, or ordinance.
4. Permit fee. A nonrefundable fee as set forth in the fee schedule adopted by resolution of the City Council shall accompany all sign permit applications.
5. Duration and revocation of permit. If a sign is not completely constructed and installed within 180 days following the issuance of a sign permit, the permit shall automatically expire and is void. The Sign Administrator may revoke a sign permit under any of the following circumstances:
 - a. The Sign Administrator determines that any information in the application was materially false or misleading at the time the sign permit application was filed with the City;
 - b. The sign as installed does not conform to the sign permit application;
 - c. The sign violates this Chapter, the zoning ordinance, applicable building code and/or other code(s), or other applicable law, regulation, or ordinance; or
 - d. The Sign Administrator determines that the sign is not being properly maintained or has been abandoned in accordance with Section 21-13 of this Chapter.

6. Issuance. A sign permit shall not be issued when:
 - a. An existing sign on the premises or a sign proposed for installation is not in compliance with this Chapter;
 - b. A sign is proposed for installation on the premises in an area not zoned for such a sign; or
 - c. Authorization of the owner of the property on which the sign is to be installed has not been obtained.
7. Design and Structural Requirements
 - a. Design. Any sign that requires a permit shall be designed and constructed to withstand wind pressures and receive dead loads as required by the applicable building code and other code(s).
 - b. Construction. The supports for all signs and sign structures shall be placed in or upon private property and shall be securely built, constructed, and erected in conformance with the requirements of the applicable building code and other code(s).
 - c. Electrical requirements. All electrical fixtures, equipment, and appurtenances installed in conjunction with a sign shall be designed and installed in accordance with the applicable building code and other code(s).
 - d. Clearances. Signs shall be located at a minimum distance of six (6) feet (measured horizontally) and twelve (12) feet (measured vertically) from overhead electric conductors.
8. Method of determining area of sign. In determining the area of any sign, the dimensions of the rectangle, square or other shape enclosing the signboard, excluding the supporting structure, shall be used. If the sign includes cutouts or facings extending beyond the dimensions of the rectangular signboard, the measurement of the sign area shall include the actual area of the cutout or extended facings. For signs of a double-faced, back-to-back, or V-type nature, each face shall be considered a separate sign in computing the face area.

Sec. 21-9. - Changeable Electronic Variable Message Signs (CEVMS).

No new permit shall be issued for the installation, erection or replacement of a CEVMS, including any conversion or modification of an existing sign to a CEVMS, within the corporate limits or the ETJ of the City of Brenham, except as provided herein. Existing CEVMS shall be brought into compliance with Section 21-9(2) within 120 calendar days from Month XX, 2019, the effective date of the ordinance from which this Chapter is derived.

1. CEVMS locations. CEVMS are only permitted on property adjacent to the following thoroughfares:
 - a. US Highway 290 East and West (shall not mean Business US 290).

- b. US State Highway 36 North and South (shall not mean Business SH 36).
 - c. Changeable electronic variable message signs may be permitted on properties not adjacent to the aforementioned thoroughfares upon application to and approval by the City Council. Approval by the City Council may be granted where the following criteria are met:
 - i. Granting the request would not be materially detrimental to property in the general vicinity;
 - ii. Granting the request would not be contrary to the general objectives of this Chapter;
 - iii. Granting the request would not increase the total signage allotment allowed by this Chapter on the subject property.
2. CEVMS regulations.
- a. Images or messages shall be static in nature and shall not blink, flash, scroll or be animated;
 - b. No image or message may be displayed for less than eight (8) seconds;
 - c. Message transitions shall be limited to one (1) second;
 - d. The brightness of any CEVMS shall not exceed 0.3 foot-candle illumination from a distance of 250 feet between sunset and sunrise, and each sign shall be fitted with a qualified light-sensing device to automatically adjust the brightness in accordance with these standards;
 - e. All CEVMSs shall require an approved usage permit and payment of an annual fee. The annual fee shall be established by resolution of the City Council;
 - f. If a CEVMS is found to be operating incorrectly, it must not be operated until it is repaired, inspected by the City, and approved for operation by the Sign Administrator; and
 - g. The images displayed on the CEVMS must be directly related to the on-premises business, with the exception of messages relating to time, temperature, national news, local news, sporting events, or upcoming community events.
3. CEVMS size. Property in accordance with Section 21-9(1) are permitted one (1) sign structure with two (2) sign faces not to exceed fifty (50) square feet per sign face. CEVMS sign area shall count toward cumulative sign area allotment as established in Section 21-12(2)(a).
4. Fuel/Gas price electronic signs.

- a. Fuel/gas price signs shall not exceed an area of thirty-six (36) total square feet per electronic sign face and shall not exceed six (6) square feet in size per individual price panels; and
 - b. Fuel/gas prices shall be displayed as a static message and subject to all CEVMS regulation established in this Section, excluding Section 21-9 (1) – CEVMS locations.
5. CEVMS shall only be permitted as on-premises signs.
 6. Temporary signage shall not be installed and/or maintained on any property or development on which a CEVMS is installed and/or maintained. Temporary signage is meant only to provide an additional sign form to businesses for advertising or communicating information to the public. With the use of a CEVMS the property or development has the diverse messaging capability to change messages to the public, and therefore negates the necessity of temporary signs. The exception shall be for the erection of construction or real estate signs.

Sec. 21-10. – Directional Signs.

1. On-Premises.
 - a. Shall have a maximum sign face area of twelve (12) square feet;
 - b. Shall not exceed a height of eight (8) feet; and
 - c. Shall include only arrows, directions, and references to specific destinations or geographical areas.
2. Off-Premises.
 - a. Limited Use Standards.
 - i. Shall not exceed two (2) sign faces with an area of eight (8) square feet cumulatively for each business;
 - ii. Shall not exceed a height of eight (8) feet;
 - iii. Shall include only the name, symbol, or logo of a business or facility and an arrow indicating the direction;
 - iv. Each business or entity is permitted two (2) signs each to be located on different sites (anchor sites);
 - v. The anchor site shall be the property hosting the off-premise sign and is permitted a maximum of four (4) directional signs not to exceed a total of sixteen (16) square feet of area.

- vi. The owner of the property on which a sign is to be located must give written permission in the application for the usage of the property. The applicant must present the written permission of the property owner with the application for the sign permit; and
- vii. The light from any illuminated sign shall be so shielded, shaded, or directed so that the light intensity shall not adversely affect surrounding or facing premises or the safe vision of operators of vehicles on public streets and highways.

b. Placement.

- i. The sign face shall be located within 1,000 feet of the applicant's business or facility;
- ii. The sign face shall not be the principal or sole use of land on the parcel where the directional off-premises sign is proposed to be displayed;
- iii. When detached, the off-premises directional sign shall be placed as a tenant sign and shall not be a single freestanding sign;
- iv. When attached, the sign face shall be installed on a building as a wall sign; and
- v. There shall be no more than one (1) off-premises directional sign, attached or detached, per anchor site, per business or entity.

Sec.21-11. – Flags and flag signs.

1. No more than three (3) freestanding flagpoles may be allowed at any time on the premises. Federal, state, or local government flags, emblems and/or historical markers and any flags or insignia of a religious, charitable, fraternal, academic, or civic organization may be allowed.
2. A maximum of one (1) corporate flag and flagpole may be permitted if erected in conjunction with at least one (1) flagpole and flag consistent with subsection (1) of this Section.
3. Official flags shall be flown in a manner that meets U.S. Congressional protocol and rules. Failure to display flags in proper manner shall be a violation of this section. All flags shall be kept in good repair.
4. Flags may be permitted in all zoning districts.
5. Design and lighting of the U.S. flag shall be consistent with the Federal Flag Code, 36 USC 173-178, as amended, and any successor law or code.
6. Flagpoles shall be black, brown, dark green, white, silver, or bronze in color.
7. Lighting of flags may be allowed, but shall not direct glare onto any building located on any other property.

8. Pole heights, flag sizes, minimum distances, and setbacks.
 - a. No side of any flag displayed on a pole that is thirty-five (35) feet or less in height shall be greater than six (6) feet in length.
 - b. Flags displayed on poles over thirty-five (35) feet in height may have a flag with a side length of not more than twenty-five percent (25%) of the height of the pole.
 - c. No flagpole shall exceed fifty (50) feet in height.
 - d. A minimum distance of (6) six feet shall be maintained between flagpoles. All flags shall maintain a minimum setback of eight (8) feet from all overhead power lines or easements, and six (6) feet from a property line.
9. Encroachments.
 - a. No flagpole may be erected within a public utility easement.
 - b. Neither the flag, flagpole, nor any other support structure may extend into, on, across, above or over a public right-of-way or easement.
 - c. Neither the flag, flagpole, nor any other support structure may extend over an adjoining property line.

Sec. 21-12. - Regulations by use.

1. Residential Use Sign Regulations. For the purpose of this Chapter, Residential Use shall mean residential and multiple-family uses as defined in Appendix A – Zoning, of the Brenham Code of Ordinances. Unless stated otherwise in Section 21-7 of this Chapter, no sign shall be permitted or allowed for a residential use unless it meets the following standards:
 - a. Types of Signs Allowed with a Permit.
 - i. Entry Monument Sign. Residential subdivisions, multiple-family complexes (5- units or greater), and manufactured home parks shall be permitted two (2) sign faces at each major entrance not to exceed one-hundred and twenty (120) square feet in sign area cumulatively. The sign face(s) shall not exceed five (5) feet in height. The sign setback shall be a minimum of eight (8) feet from the edge of pavement and may be indirectly lighted. Entry signs affixed to a brick fence may be permitted in lieu of a monument sign(s).
 1. Subdivision entry signs must provide a landscaped area equal to at least twice the area of the sign face. Required landscaping shall be submitted as part of the sign permit application and irrigation must be provided. The owners and subsequent owners of the landscaped property shall be responsible for the maintenance of the landscaped area. All landscape

materials shall be maintained so to ensure an attractive appearance and a healthy, vigorous, growth environment.

- ii. Wall and Projecting Signs. Multiple-family complexes (5-units or greater) shall be permitted one (1) attached sign identifying the complex and placed near the office entrance. The total sign area shall be no larger than one (1) square foot in sign area for each linear foot of the complex's building frontage and in no case shall exceed sixty-four (64) square feet. Signs may be indirectly or directly lighted.

b. Types of Signs Allowed without a Permit.

- i. A property owner may place no more than two (2) non-commercial signs or flag signs on the property at any time. Non-commercial signs shall not exceed two (2) sign faces and shall not exceed six (6) square feet per sign face, or twelve (12) square feet cumulatively. Non-commercial signs under this section shall not advertise the sale of goods or services.
- ii. Flags. Flags are authorized to be placed on residential property, including two (2) flags with non-commercial messages and one flag pole per premises shall be allowed on each lot. Each flag shall be a maximum of fifteen (15) square feet in area. The flag pole shall be a maximum of twenty-five (25) feet in height or no higher than the highest point of the principal building's roof, whichever is lower. Flag poles must meet the minimum rear yard setback requirements for a principal building.
- iii. Individual lessees or owners of units within multiple-family housing or manufactured home parks may also display any sign allowed on individual residential lots, so long as:
 - 1. Sign is allowed by owner if property is owned separately from person displaying sign; and
 - 2. Sign is displayed within the area owned or leased by the individual.

c. General Sign Regulations on Individual Lots:

- i. No sign may be placed on a residential lot without the consent of the property owner or a lessee who has been given authority to place a sign on the property by written agreement of the property owner.
- ii. Other than those signs specifically authorized by this Section, a sign subject to this Section shall not be illuminated, electronic, digital, or contain moving elements.

- iii. The following maximum heights shall apply to signs on individual lots in a residential district:
 - 1. Unless otherwise specified in this Section, if ground-mounted, the top must not exceed a height of four (4) feet above the ground; and
 - 2. If building mounted, the sign must be flush mounted and must not project above the roof line.
 - d. Properties in the ETJ that are appraised by the Washington Central Appraisal District as residential and that contain single-family units, multiple-family complexes, or manufactured home parks shall comply with this Section.
2. Non-Residential Sign Regulations. Unless stated otherwise in Section 21-7 of this Chapter, no sign shall be permitted or allowed on non-residential use property unless it meets the following standards:
- a. Types of Signs Allowed with a Permit.
 - i. Wall and Projecting Signs. The total sign area for all attached signs for each lot shall not exceed one (1) square foot in sign area for each linear foot of the occupancy’s building frontage and in no case shall exceed three hundred (300) square feet. Sign area allotment is computed by adding the sign area of all sign faces allowed by this subsection.
 - ii. Single-Business Ground Signs.
 - 1. Number of Signs. One non-attached sign provided in Section 21-12(2)(a)(ii)(2) per lot may be erected. Where an occupancy has more than one (1) street frontage, one (1) additional ground sign is allowed on the additional frontage. Where an occupancy has more than three hundred (300) feet of street frontage an additional ground sign shall be permitted for each additional increment of three hundred (300) feet of street frontage. Provided, further, if more than one (1) on-premises ground sign is permitted hereby, there shall be separation between ground signs of a minimum distance of one hundred (100) feet, measured in a straight line from the point on the base of each sign structure that is nearest to the other sign base.
 - 2. Design Specifications. Each ground sign shall be a minimum of eight (8) feet from the edge of pavement and are subject to the requirements prescribed in the table below. “Posted speed limit” shall mean the speed limit applicable to the public right-of-way adjacent to the primary occupancy frontage, whether or not speed limit signage is present.

Posted Speed Limit (mph)	Maximum Sign Face (Sq ft)	Sign Height (ft)
25 - 35	50	8
40 - 50	128	15

55 - 65	242	25
Property adjacent to the US 290 East and West and the feeder road for State Highway 36 North and South	300	35

- 3. A business that displays a monument sign as its only ground sign may increase its sign area size by up to twenty percent (20%).
 - 4. Public Facility Entry Monument Signs. Signs located on property near or adjacent to public facilities such as educational and administration buildings, athletic and sports fields, stadiums, and community centers, which are placed by a governmental entity or public institution of higher education for identification purposes shall be permitted in accordance with Section 21-12(2)(a)(ii).
 - iii. Multiple-Business Ground Sign. An integrated business development shall be permitted one (1) on-premises ground sign structure with two (2) sign faces for each increment of five (5) separate entities operating in the development, with a maximum sign face of three hundred (300) square feet plus fifty (50) square feet for each entity in the development identified on such sign in excess of five (5). Provided, further, if more than one (1) on-premises ground sign is permitted hereby, there shall be separation between ground signs (on-premises and off-premises) of a minimum distance of one hundred (100) feet, measured in a straight line from the point on the base of each sign structure that is nearest to the other sign base.
 - iv. Fuel Station Canopy. For a property that contains a gasoline and/or diesel fuel pump island, the owner/operator may exhibit one (1) logo sign per canopy side adjacent to the right-of-way and one (1) electronic or non-electronic price sign per gasoline and/or diesel fuel Pump Island not exceeding forty (40) square feet in sign area. Electronic fuel price signs shall comply with Section 21-9. The signage authorized by this subsection does not count towards a property's total signage allotment.
 - v. Temporary signs. One (1) temporary sign may be displayed during business or activity opening, or special promotions, and shall not be displayed for greater than fourteen (14) days with a maximum of four (4) permits per property annually. The area of the sign may not exceed forty (40) square feet. Temporary signs shall adhere to setback requirements applicable to on-premises freestanding signs and shall not count towards maximum combined sign area. Temporary signs shall not be permitted on property with changeable electronic variable messaging signs or manual changeable copy signs.
 - vi. CEVMS signs are permitted in accordance with Section 21-9 of this Chapter.
 - vii. Off-Premises Directional signs in accordance with Section 21-10 of this Chapter.
 - viii. Flags and flag signs in accordance with Section 21-11 of this Chapter.
- b. Types of Signs Allowed without a Permit

- i. A property owner may place no more than two (2) non-commercial signs or flag signs on the property at any time. Non-commercial signs shall not exceed two (2) sign faces and shall not exceed twelve (12) square feet per sign face or twenty-four (24) square feet cumulatively. Non-commercial signs shall not be more than five (5) feet in height, and shall not be illuminated, electronic, digital, have any moving elements, or be permanently affixed to the ground.
- ii. Window signs. Window signs shall not exceed more than fifty (50%) percent of the window surface area and may not contain words with characters greater than twelve (12) inches in height.
- iii. On-Premises Directional signs in accordance with Section 21-10 of this Chapter.
- c. No sign may be installed on private property without the consent of the property owner and may not be installed in, on, or over any public street or public right-of-way.
- d. Except as authorized by Section 21-10, any sign allowed under this Section shall not advertise the sale of goods, services, or activities that are not available on the property on which the sign is installed, attached or placed.
- e. Properties in the ETJ that are appraised by the Washington County Appraisal District as or used as non-residential property shall comply with this Section.

3. Downtown Sign Regulations. For the purpose of this Chapter, Downtown Districts shall mean property zoned B-3, Historical Central Business District and B-4, Neighborhood Business District as established in Appendix A – Zoning of the Brenham Code of Ordinances. The provisions in this Section 21-12(3) shall prevail over any other conflicting provisions of this Chapter applicable to the B-3 and B-4 zoning districts.

- a. Residential Uses. Single-family and multiple-family uses shall comply with the signage standards established in Section 21-12(1) of this Chapter.
- b. Types of Signs Allowed with a Permit.
 - i. Wall and Projecting Signs. The total sign area for all attached signs for each lot shall not exceed one (1) square foot in sign area for each linear foot of the occupancy's building frontage and in no case shall exceed forty (40) square feet. Sign area allotment is computed by adding the sign area of all signs allowed by this subsection.
 - ii. Monument Sign. One indirectly lighted monument sign shall be permitted per occupancy not to exceed five (5) feet in height and the lowest point of the sign shall not exceed twenty-four (24) inches above the adjacent grade. The total sign area shall not exceed twenty-five (25) square feet and may be located as near as eight (8) feet to the edge of pavement as measured from the closest edge of the sign.
 - iii. Mural. Any painting, design, or image, including incidental copy, which is applied directly to the exterior of a building for artistic, informational, historic, or aesthetic purposes, and shall not contain a commercial message greater than thirty percent (30%) of the façade to which it is applied. Commercial messages shall be related to a business, product, service or activity which is available or conducted upon the premises where such sign is located. A mural shall be compatible with the architectural and aesthetic components of the building, not detract from the character of the district in which it is located, and not be detrimental to the public health, safety or welfare.

- iv. Flags and flag signs in accordance with Section 21-11 of this Chapter.
- v. Off-Premises Directional signs.
 - 1. Off-premises directional signs in the Downtown Districts shall be wall signs;
 - 2. The sign face shall be located within five hundred (500) feet of the subject business;
 - 3. The sign face shall include the name, symbol or logo of a business or facility and an arrow indicating direction;
 - 4. The sign face shall be a maximum of nine (9) square feet;
 - 5. Each establishment is allowed two (2) signs each to be located on different anchor sites; and
 - 6. The anchor site shall be allowed a maximum of four (4) directional signs.

c. Permitted Non-Residential Uses Types of Signs Allowed without a Permit.

- i. Window signs. Window signs shall not exceed more than twenty-five percent (25%) of the window surface area and may not contain words with characters greater than twelve (12) inches in height.
 - ii. A property owner may place no more than two (2) non-commercial signs with a total sign face not to exceed twelve (12) square feet on the property at any time.
 - iii. Sidewalk signs shall be located within five (5) feet of the building occupancy frontage of the business or other entity and shall not encroach within handicapped accessible access ways and routes. Sidewalk signs shall only be displayed or erected during the actual hours of operation, are limited to two (2) sign faces per business/entity or tenant, and shall not exceed twelve (12) square feet in size cumulatively.
- d. Except as authorized by Section 21-12(3)(b)(v), any sign allowed under this Section shall not advertise the sale of goods, services, or activities that are not available on the property on which the sign is installed, attached or placed.

Sec. 21-13. – Maintenance of Signs.

- 1. All signs and structures supporting signs in the City and ETJ shall be properly maintained. The Sign Administrator shall have the authority to order the painting, repair, or removal of a sign, sign structure, or accompanying landscaping which constitutes a hazard to safety, health or public welfare by reason of inadequate maintenance, dilapidation, obsolescence or abandonment. Notice of required maintenance shall be sent by certified mail and if, within ten (10) calendar days, the maintenance orders are not complied with, the Sign Administrator may order the sign to be removed at the owner's expense under the provisions of this Chapter.
- 2. It is an offense for a Responsible Party to fail to maintain signs and sign structures in a good and sound condition as determined by the Sign Administrator and in accordance with the applicable building code and other code(s). Responsible Parties shall repair or replace signs and sign structures, or portions thereof, that are rotting, peeling, rusting, fading, becoming discolored, covered in dirt, contain an incomplete sign face, or any other defective conditions. Responsible Parties shall not allow signs or sign structures to

become a threat to public health, safety or welfare, within the meaning of the applicable building code and other code(s), as a result of inadequate design, construction, repair, or maintenance. The Sign Administrator is authorized to seek to compel immediate removal of signs that are in such a state of disrepair or dilapidation as to constitute an imminent threat to public health, safety or welfare.

3. A permit is not required for routine maintenance, adjustments, replacement of light globes, and similar maintenance activities.
4. Abandoned or Discontinued Signs. An abandoned or discontinued sign face is a sign face that advertises a business, facility, organization or project that has ceased operations. All abandoned sign faces shall be removed by the Responsible Party within sixty (60) days from their date of abandonment. For the purposes of this Section, a business, facility, organization or project has ceased to operate when it is no longer engaged in the sale of products or services or conducting any other activity in the normal course of business. The Sign Administrator shall have the authority to grant a time extension not exceeding an additional sixty (60) days for an abandoned, non-damaged sign.

Sec. 21-14. - Nonconforming Signs.

1. Determination. A non-temporary sign lawfully erected within the corporate limits of the City or its ETJ prior to the date of adoption of the ordinance from which this Chapter is derived, which does not conform to the regulations of this Chapter, shall be deemed to be a nonconforming sign which shall be allowed to continue, with normal maintenance and repair only; provided, however, a nonconforming sign may not be enlarged upon, expanded, or extended. It is not the intent of this Section to encourage the survival of nonconforming signs; to the contrary, nonconforming signs are discouraged and contrary to the intent and purpose of this Chapter.
2. Removal. Nonconforming signs shall be terminated and removed immediately upon the occurrence of one (1) of more of the following:
 - a. A sign that, having been permitted to remain in place as a nonconforming use, is required to be removed in the event the sign, or a substantial part of it, is blown down, damaged or otherwise destroyed or dismantled for any purpose other than maintenance operations or for changing the letters, symbols or other matter on the sign; for purpose of this subsection, a sign or substantial part of it is considered to have been destroyed if the cost of repairing the sign is more than sixty percent (60%) of the cost of erecting a new sign of the same type at the same location;
 - b. A nonconforming sign that has been abandoned;
 - c. A nonconforming sign that the use of which has been discontinued for a period of sixty (60) days or more consecutive days; or

- d. A nonconforming sign that has become obsolete or substandard under any applicable ordinance of the City to the extent that the sign becomes a hazard or danger to the public health, safety or welfare.

Sec. 21-15. - Violations and penalties.

- a) In the event of a violation of this Chapter, the Responsible Party will be notified by the Sign Administrator by certified mail and required to correct the situation within ten (10) calendar days.
- b) If the violation is corrected within ten (10) calendar days, no charges will be filed other than a charge of failure to obtain a building and/or sign permit if such a charge is applicable. Otherwise, charges may be filed each following day until such time as the violation is corrected.
- c) Conviction of violation of this Chapter is punishable by a fine of not less than twenty-five dollars (\$25.00) and not more than five hundred dollars (\$500.00). Each day that the violation is allowed to continue shall be considered a separate offense. Any Responsible Party may be charged with separate violations each day the violation is allowed to continue.
- d) In addition to the penalties set forth in this Chapter, the City may pursue any and all other remedies that are available at law or in equity for violations of this Chapter, including but not limited to civil penalties and injunctive relief.

Sec. 21-16. - Billboards.

- a) Billboards shall not be permitted within the corporate limits of the City of Brenham or its ETJ.
- b) Existing billboards maintained as nonconforming uses.
 - 1. Sign face replacement shall be allowed on nonconforming billboards without a permit to the extent that no structural modifications of the sign or its structure are required.
 - 2. In the event a nonconforming billboard or a substantial part of it is damaged by any means or cause or dismantled for any purpose other than maintenance of the sign or for changing the sign face, and the repair or reconstruction cost, whichever is applicable, exceeds sixty percent (60%) of the cost of erecting a new sign of the same type at the same location, such nonconforming billboard shall be removed immediately.
- c) Any billboard lawfully erected and maintained as a nonconforming use that does not display any copy, transcript, reproduction, model, likeness, image, advertisement or written material for a period of one hundred twenty (120) consecutive days or more is hereby declared to be a violation of this Section and as such shall be restored to use or removed by the owner or permittee within thirty (30) days after notice by the Sign Administrator of such violation.



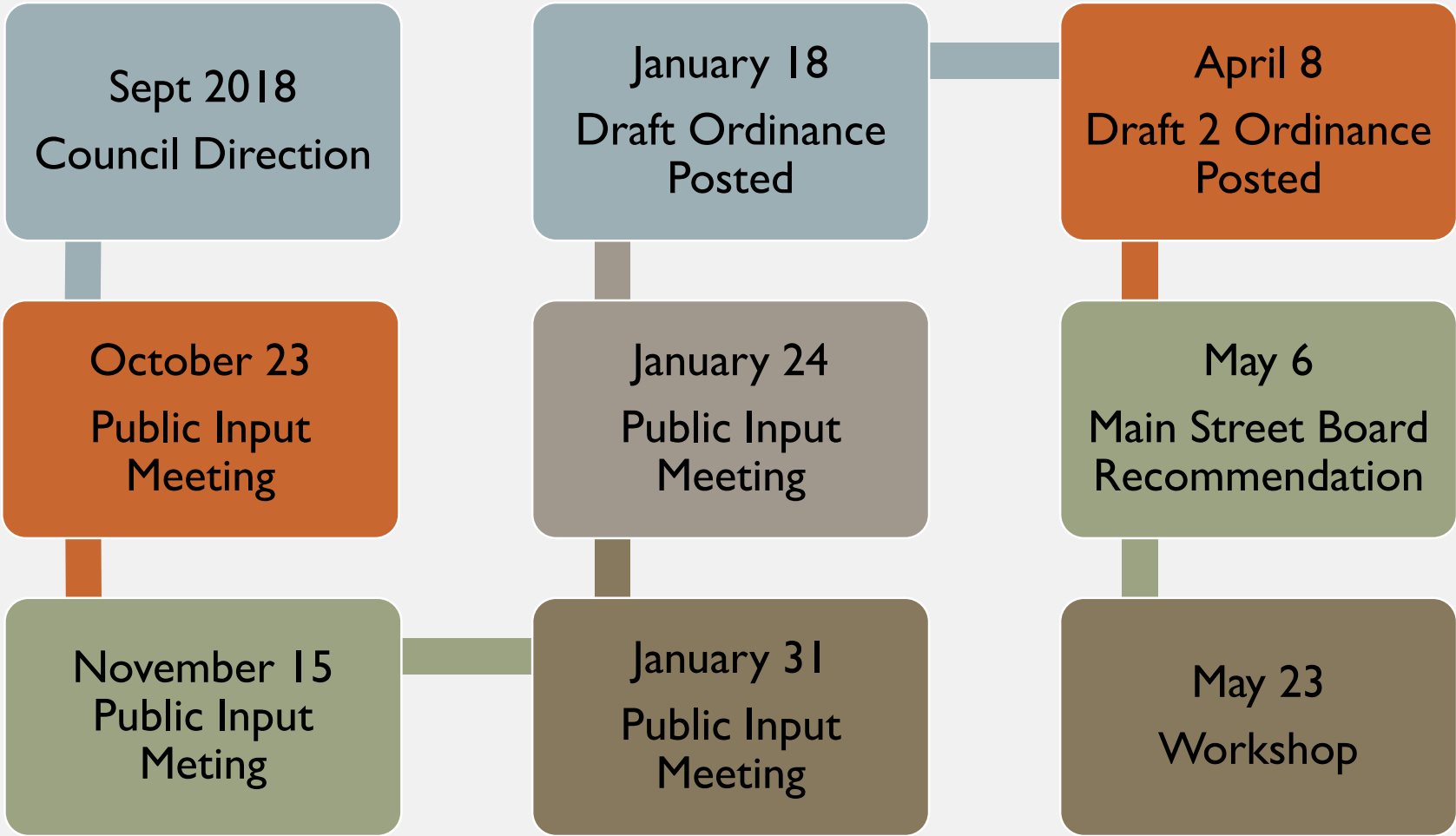
Exhibit B - PowerPoint Slides
Outlining Draft Sign Ordinance

DRAFT SIGN ORDINANCE

Stephanie Doland



SIGN ORDINANCE TIMELINE





SIGN ORDINANCE OUTLINE

1. Short Title
2. Purpose and Scope
3. Non-Commercial Signs
4. Definitions (31)
5. Prohibited Signs
6. Sign Administrator and Enforcement
7. Permits Not Required
8. Permits Required
9. Electronic Signs (CEVMS)
10. Directional Signs
11. Flags and Flag Signs
12. Regulations By Use
13. Sign Maintenance
14. Nonconforming Signs
15. Violations and Penalties
16. Billboards & Downtown Sign Regulations



PURPOSE AND SCOPE

Sign ordinance applicable to City of Brenham and ETJ.

1. Promote the safety of persons and property;
2. Protect the public welfare and to enhance the appearance and economic value of the community;
3. Promote compatibility of signs with the use of the property to which the signs are appurtenant;
4. Promote compatibility of signs with the landscape and architecture of surrounding buildings;
5. Promote signs that are appropriate to the activity to which the signs pertain;
6. Avoid and minimize traffic accidents and problems caused by distracting signs;
7. Ensure that all signs are constructed and maintained in a structurally sound, safe and attractive condition.

SIGNAGE TYPES

AWNING SIGN



BANNER SIGN



SIGNAGE TYPES

DIRECTIONAL (WAYFINDING) SIGN



FLAGS AND FLAG SIGNS



SIGNAGE TYPES

GROUND SIGN

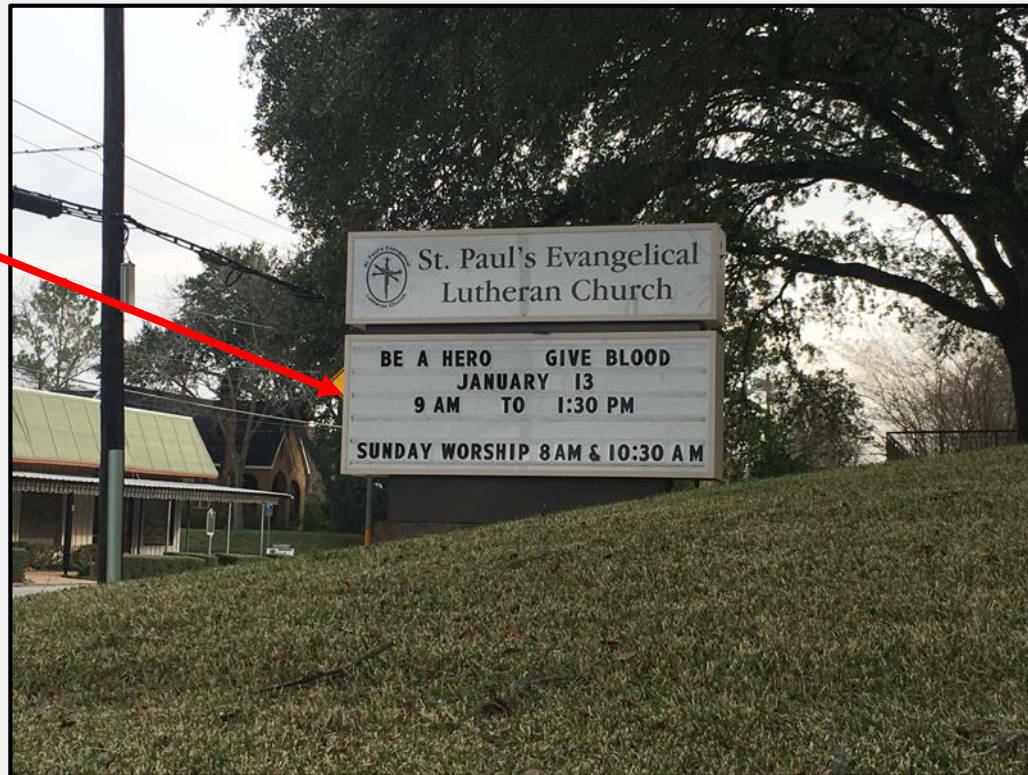


MARQUEE SIGN



SIGNAGE TYPES

MESSAGE BOARD SIGN



MONUMENT SIGN



SIGNAGE TYPES

PROJECTING SIGN



ROOF SIGN



SIGNAGE TYPES

UNDER CANOPY SIGN



WINDOW SIGN



PROHIBITED SIGNS

1. Attention-getting devices;
2. Billboards;
3. Portable signs with the exception of sidewalk signs;
4. Signs attached to or being held by a human or living creature for the purpose of advertising a commercial message for a business use;
5. Signs attached to any trees, utility pole or wire, traffic sign or signal;
6. Signs located in any public right-of-way;
7. Signs placed on parked vehicles or trailers for the primary purpose of displaying said sign; and
8. Snipe signs.



PROHIBITED SIGNS



120
Days

1. Attention-getting devices;

~~2. Billboards;~~

3. Portable signs with the exception of sidewalk signs;

4. Signs attached to or being held by a human or living creature for the purpose of advertising a commercial message for a business use;

5. Signs attached to any trees, utility pole or wire, traffic sign or signal;

6. Signs located in any public right-of-way;

7. Signs placed on parked vehicles or trailers for the primary purpose of displaying said sign; and

8. Snipe signs.



SIGN ADMINISTRATOR AND ENFORCEMENT

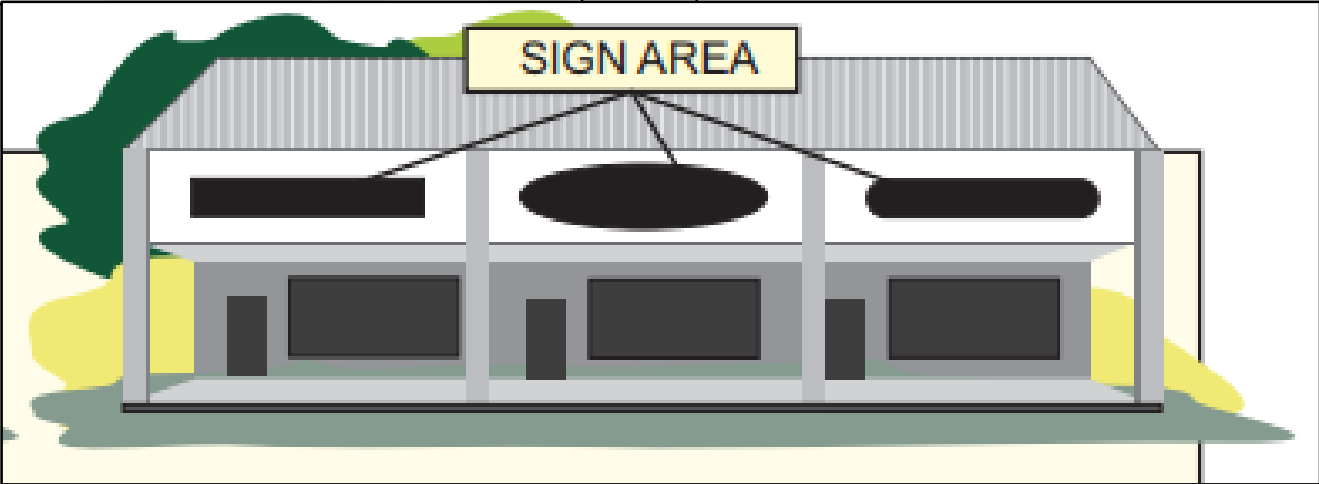
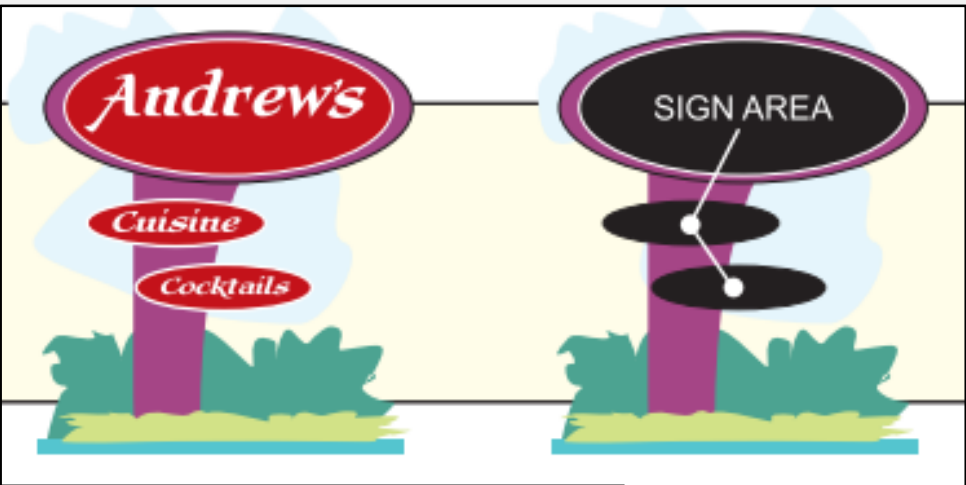
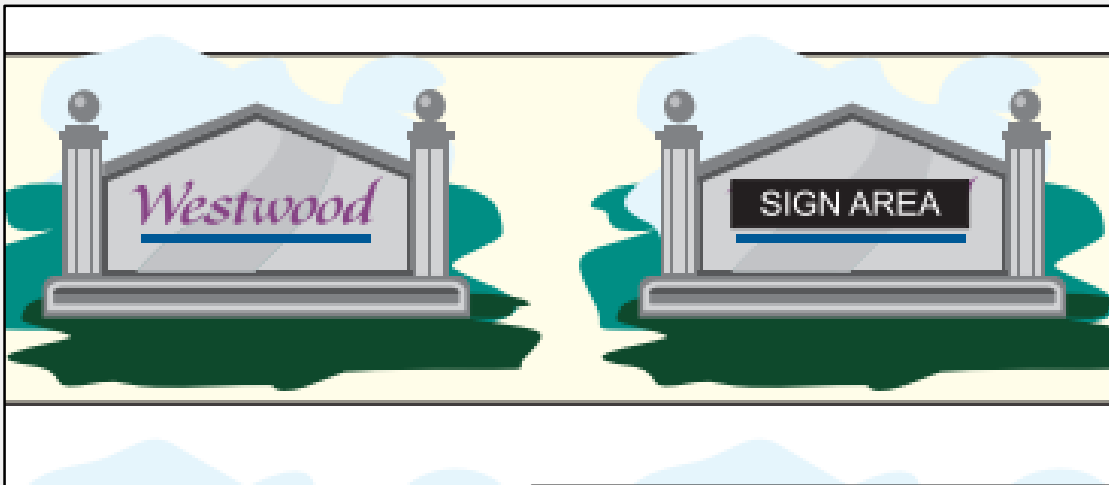
Permits Required

- Sign permit required to ensure adherence
- Permit fee established with fee schedule
- Design and structural requirements
 - Electrical contractor required
 - Constructed per applicable building code
 - Sign permit issuance

Permits Not Required

- Garage sale sign
- Modification of sign face
- Government required notices
- Public facilities – directional signs
- Vehicular signs
- Construction or real estate signs
- Sidewalk signs
- Window signs

METHOD OF DETERMINING SIGN AREA



CHANGEABLE ELECTRONIC VARIABLE MESSAGE SIGNS (CEVMS)

Location

- Highway 290 & SH 36 (Not business)
- Approval by City Council for other locations
 - Granting the request would not be materially detrimental to property in the general vicinity;
 - Granting the request would not be contrary to the general objectives of this Chapter;
 - Granting the request would not increase the total signage allotment allowed by this Chapter on the subject property;



CHANGEABLE ELECTRONIC VARIABLE MESSAGE SIGNS (CEVMS)

- 50 square feet per sign face (counts toward maximum)
- Banner/temporary signage forfeiture
- Fuel signs (36 square foot maximum)
- Additional regulations (applicable to existing signs):
 - Static message: no blinking, flashing, or scrolling
 - Minimum display time (8 seconds)
 - Transition time of 1 second
 - Limit brightness (0.3 foot-candle)



DIRECTIONAL SIGNS

Off-Premise

- Maximum sign area of 8 SF
- Shall not exceed 8 feet
- Limit to arrows, directions and references to destination
- Each entity may have 2 signs
- Anchor sites are limited to 4
- Sign shall be within 1000 feet of business
- Shall be a tenant sign



On-Premise

- Maximum sign area of 12 SF
- Shall not exceed 8 feet in height
- Limit to arrows, directions and references to destination



FLAGS

- Permitted in all zoning districts on all properties
- Shall be consistent with Federal Flag Code
- Maximum of three freestanding flag poles
- Maximum height of 50 feet
- Cannot be located in a public easement
- Shall be a minimum of 8 feet from overhead power lines, 6 feet from property lines





REGULATIONS BY USE - RESIDENTIAL

- Subdivision entry monument signs (or affixed to brick fence)
 - Indirectly lighted
 - May not exceed 2 sign faces at 120 square feet in area (max height 5 feet)
 - Landscape area twice size of sign face
- Wall signs
 - Multi-Family 5 units or greater one sign
 - One (1) square foot for each linear foot of occupancies building frontage (Max 64sf)

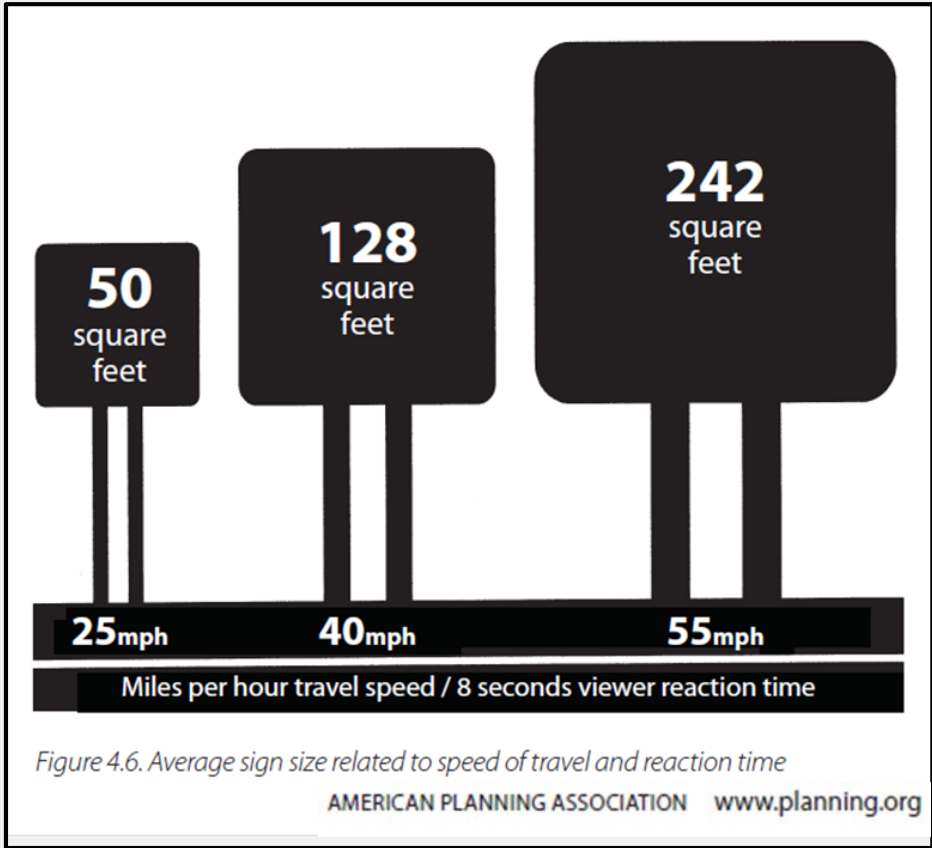


REGULATIONS BY USE - COMMERCIAL

- Single-Business Ground Signs: One per property
 - Unless corner lot or >300 linear feet
 - Setback 8 feet from edge of pavement

Posted Speed Limit (mph)	Maximum Sign Face (Sq ft)	Sign Height (ft)
25 - 35	50	8
40 - 50	128	15
55 - 65	242	25
Property adjacent to the US 290 East and West and the feeder road for State Highway 36 North and South	300	35

- Monument sign bonus (20% increase)
- Public facility entry monument

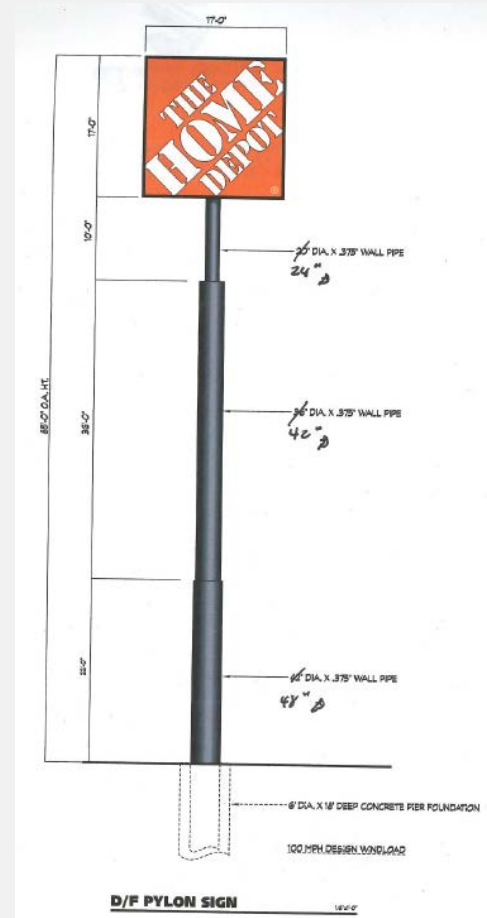


REGULATIONS BY USE - COMMERCIAL



10' x 10' = 100

REGULATIONS BY USE - COMMERCIAL



$$17' \times 17' = 289$$



REGULATIONS BY USE - COMMERCIAL

- Wall Signs: shall not exceed one square foot in sign area for each linear foot of occupancy building frontage. (Max 300 sf)
- Multiple-Business Ground Signs – One sign per 5 entities
- Fuel Station Canopy
- Temporary banner sign – 4 times annually, displayed for 14 days, 40 sf maximum
- Window Signs – Limited at 50%



DOWNTOWN SIGNAGE



- Residential uses reference
- Attached signs: (1 to 1 ratio) max 40 sf
- Monument signs: max 25 sf, 5-foot tall
- Murals: max 30% of façade as signage “commercial message”
- Window signs: max 25% of window surface area
- Directional signs
- Sidewalk signs

NON-COMMERCIAL SIGNS / FLAG SIGNS

- Residential:
 - two non-commercial signs
 - 12 sf maximum sign area
- Commercial:
 - Two non-commercial signs
 - 25 sf maximum sign area
 - Shall not exceed 5 feet in height
- Downtown:
 - two non-commercial signs
 - 12 sf maximum sign area



MAINTENANCE OF SIGNS

- Signs and sign structures
- Code compliance officers
- Responsible parties
- Permit not required
- Abandoned or discontinued signs





NON-CONFORMING SIGNS

- Shall be able to continue with normal repair
- Expansion or enlargement not permitted
- Act of God damaging the sign, or sign removal constitutes termination of non-conforming status
- 60% threshold

BILLBOARDS

- New Billboards are not permitted
- Maintenance permitted
- Sign face change permitted
- 60% threshold



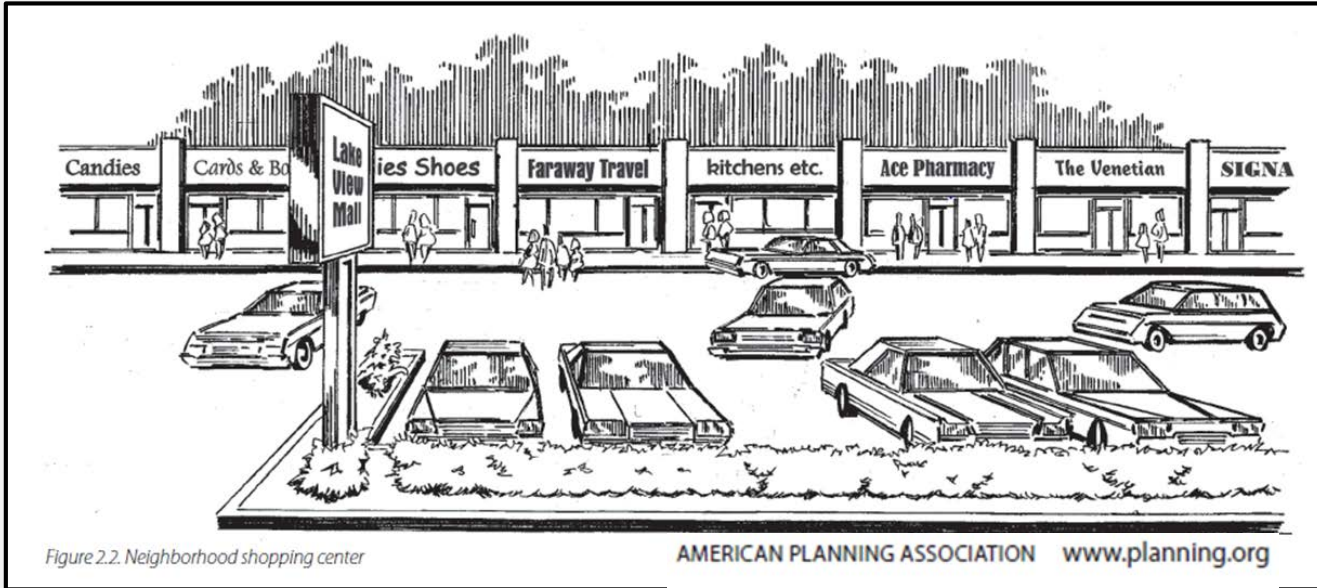


TIMELINE OF NEXT STEPS

May 28th
P&Z
Recommendation

June 6th
First Reading at
Council

June 20th
Second and Final
Reading at
Council



**Questions
Comments
Feedback**



DOWNTOWN SIGNAGE

Sidewalk Sign Pilot Program

The City of Brenham is working closely with Downtown Businesses to help enhance the Downtown Brenham pedestrian experience. From June 2019 to January 2020, the City is anticipating Council adoption of a Pilot Program which involves sidewalk signs placed on pedestrian-busy street corners.

The sidewalk signs will help pedestrians effectively find businesses in and around our downtown square. The Pilot Program will begin with seven signs. Following community feedback, more signage could be introduced.

Sign Appearance

Image A is a close representation of what the sidewalk signs will look like. The sidewalk signs are similar to our current vehicular wayfinding signage in design—so it ties-in the City’s tourism-branding. Yet, it still allows participating businesses to showcase their individuality.

Image A

Frequently Asked Questions:

Q: What will the Pilot Program cost for my business?

A: Because this is a temporary program, we will not charge participating businesses. If the program continues, business owners will have the opportunity to buy-in to the program.

Q: Where will the sidewalk signs be located?

A: The Pilot Program will utilize street corners along West Alamo Street and east Commerce Street.

Q: Will I still be able to use my own sidewalk sign?

A: Of course! Each business will have the opportunity to place a custom sidewalk sign by their storefront.

Q: How will sidewalk signs be enforced?

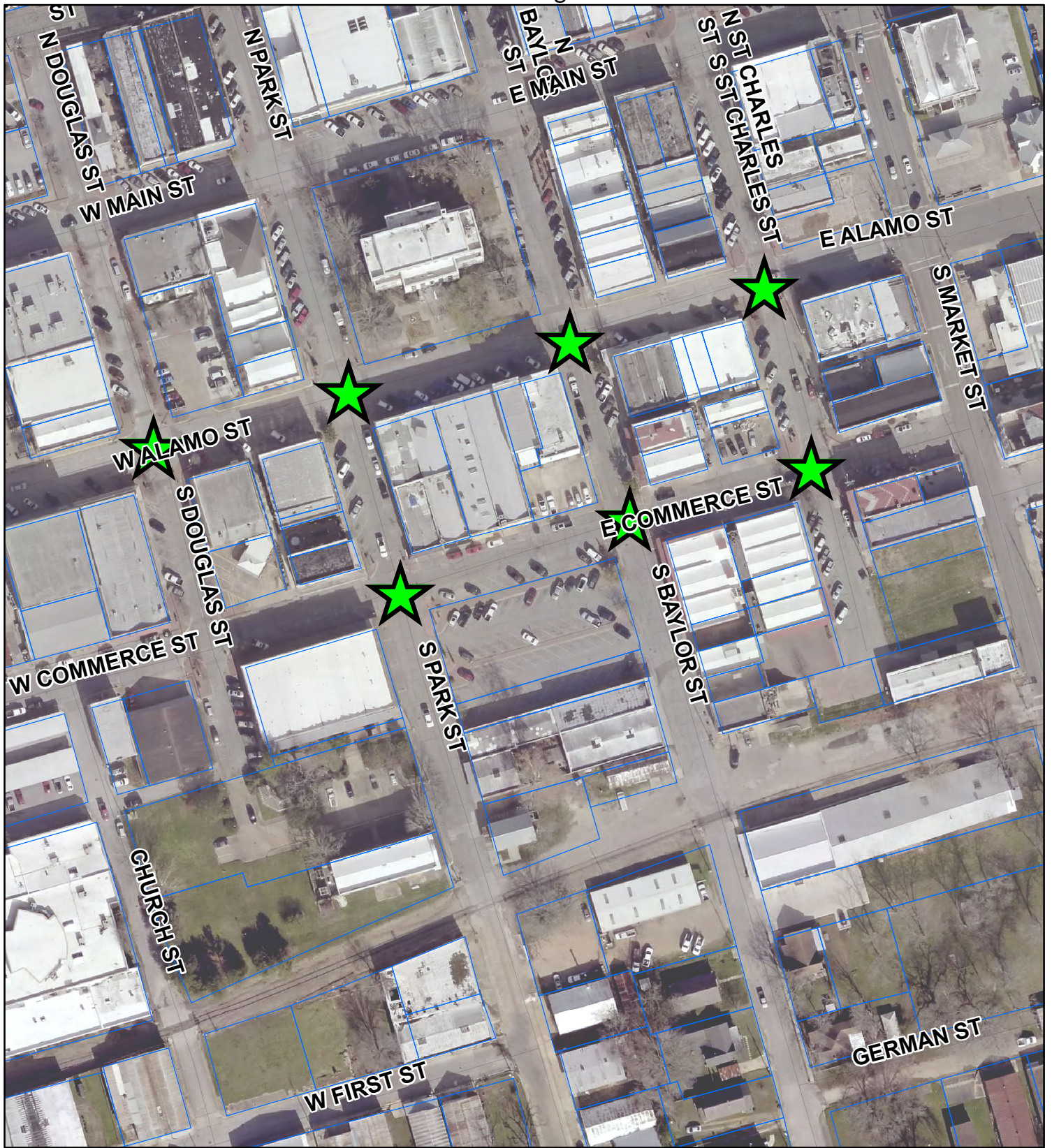
A: The City of Brenham has two Code Enforcement Officers who patrol Monday—Saturday. They will monitor downtown sidewalk signs to ensure safety and ordinance compliance.

Q: How will the success of the program be evaluated?

A: The intention of the Pilot Program is to reduce the number of sidewalk signs to ensure safety, maintain downtown aesthetics, and to guide pedestrians during their Downtown Brenham experience. Together—City staff, downtown patrons and business owners will evaluate the program based on functionality, aesthetics, business-branding and safety.



Exhibit D - Pilot Program Locations



Pilot Program Sidewalk Sign Locations



Proposed Pilot Program Intersections

1 inch = 132 feet





CASE NUMBER P-19-020

TEXT AMENDMENT – Signage for Public Facilities in the Business Zoning Districts

REQUEST:

The City of Brenham initiated the proposed request to amend the City of Brenham’s Code of Ordinances, Appendix A – Zoning, Part II, Division 2, Section 3.02, Permitted Uses: (Nonresidential uses) to allow signs for public facilities which are placed by a governmental entity or public institution of higher education as a permitted use in the B-1 Zoning District.

BACKGROUND:

In recent months, the City of Brenham has prepared revisions to Chapter 21 – Signs, of the Brenham Code of Ordinances. During review of the sign ordinance, staff noted that reference to signage types allowed is currently included in Appendix A – Zoning of the Brenham Code of Ordinances. In an effort to remain consistent between sections of the Code of Ordinances, staff finds it is necessary to amend Appendix A – Zoning to allow signage permitted in Chapter 21 – Signs in respective zoning districts.

ANALYSIS:

Located in Appendix A – Zoning, Part II, Division 2, Section 3.02, Permitted Uses: (Nonresidential uses) is the language: “(22) Signs (advertising) used in connection with and on the same lot as the business establishments to which they refer, except that they shall not be placed within twenty-five (25) feet of an “R” district.” Therefore, aforementioned language currently allows the use of signage on property zoned B-1, Local Business Mixed District. The zoning ordinance is structured such that zoning districts build upon one another. Therefore, uses allowed in B-1 are also permitted in B-2 Commercial Research and Technology District and I, Industrial District. Therefore, the language as currently written in Appendix A, does not allow the use of signage to be the primary or principal use of the property in the B-1, B-2, and Industrial districts.

During the research and public input phase of revising the sign ordinance, staff received feedback that entry monument signage may be appropriate as the primary use of a non-residential property. For example, signs designating entry into Washington County, the City of Brenham, or the Blinn College District may be appropriate on property that is owned by the respective agencies and is otherwise vacant. Staff finds that revising the language would allow governmental entities and other public institutions the opportunity to place monument signs on vacant property to help establish a sense of place and distinguish arrival to otherwise unseen boundaries.

For the aforementioned reasons, staff recommends amending Appendix A – Zoning, Part II, Division 2, Section 3.02, to read as follows:

(22): Public Facility Entry Monument Sign as provided in Chapter 21 – Signs of this Ordinance.

PUBLIC COMMENTS:

The Notice of Public Hearing was published in the newspaper on May 18, 2019. Any public comments will be provided in the Planning & Zoning Commission and City Council packets or during the public hearing.

STAFF RECOMMENDATION:

Staff recommends **approval** of an ordinance to allow signs for public facilities which are placed by a governmental entity or public institution of higher education as a permitted use in the B-1 Zoning District.